

An aerial photograph of Albury, NSW, showing a mix of residential houses, trees, and open land. A white grid is overlaid on the image, with a vertical line on the left and a horizontal line across the middle. The text 'URBIS' is positioned in the top-left quadrant of the grid.

URBIS

HERITAGE IMPACT STATEMENT

481-487 Swift Street,
Albury NSW 2640
Wiradjuri Country

Prepared for
JOSS CONSTRUCTION
14 June 2023

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Project Code	P0044190 481-487 Swift Street, Albury		
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EXECUTIVE SUMMARY

Urbis has been engaged by Joss Constructions to prepare this Heritage Impact Statement (HIS) to accompany a Development Application for the demolition of existing structures and construction of a new residential apartment building at 481-487 Swift Street, Albury (the subject site).

The subject site comprises three freestanding dwellings at 481-483, 485 and 487 Swift Street. The two properties at 485 and 487 Swift Street are heritage listed on the *Albury Local Environmental Plan (LEP) 2010* as:

- *House*, 485 Swift Street, Albury (Item 164)
- *House*, 487 Swift Street, Albury (Item 166)

The subject site is also located within the vicinity of Heritage Conservation Areas and heritage items as identified in Section 5.2 of this report.

The subject site features three dwellings situated on three different cadastral boundaries. The proposed works include the demolition of these dwellings and the construction of a seven-storey mixed use residential apartment building with ground floor retail/commercial tenancies. Further details of the proposed works are included in Section 1.5.

This HIS has been prepared to assess the heritage impacts of the proposed works on the subject site ('House' (485 Swift St, I164) and 'House' (487 Swift Street, I166) and immediate vicinity. This HIS also provides an assessment of the proposed demolition of the two heritage items located on the subject site. This HIS has also assessed potential impacts to the heritage items and heritage conservation areas in the vicinity.

A detailed impact assessment of the proposed works has been undertaken in Section 5 of this report. The proposed development would involve the demolition of two listed heritage items, which is considered acceptable due to a detailed assessment of significance and historical research, understanding of the historical development of the Albury CBD and wider Albury, conservation areas as well as the current planning and infrastructure needs of wider Albury. The subject site is situated within the Albury CBD which is needed to meet growing housing demand within the region. The Albury Local Housing Strategy (Albury City, March 2023) outlines the housing needs of Albury, notably to house a growing population, expected to increase by 20,000 people in 20 years.¹ Furthermore, the subject site is in an eroded historic setting in comparison to the well preserved historic areas in the vicinity. The surrounding streets and precincts within the CBD are Heritage Conservation Areas or rows of heritage items which are of greater integrity and contribution to the history and aesthetic character and understanding of the town. As such, the proposal is considered acceptable for the reasons outlined below and discussed in detail within the report.:

- The subject site comprises three individual dwellings, two of which are heritage listed and of alternate periods as discussed further below. These do not form part of a row or wider conservation area. The historic setting of the site is heavily eroded in comparison to other heritage items and conservation areas in the vicinity, whilst the individual sites feature yards with no significant or contributory landscaping and do not make a substantial streetscape contribution. The subject site is also situated adjacent to highly contemporary built form to the rear, including utilitarian carparking and the Albury Central shopping centre which has diminished the historic visual context of the subject site in comparison to other listed sites.
- 481 Swift Street is not locally listed and therefore demolition of this building is acceptable from a heritage perspective. Further, in 2013 a Development Application for the demolition of 481 Swift Street, Albury was approved (10.2013.32482.1) however never acted upon.
- The subject dwelling at 485 Swift St (*Albury LEP 2010* I164) is an Inter -War California Bungalow identified by Council as having local significance. Urbis' further historical research, site investigation (including interiors), comparative analysis, and significance assessment has determined that the dwelling at 485 Swift Street does not reach the threshold of local significance level. Therefore the demolition of the structure would be acceptable from a heritage perspective. The key points of our assessment are outlined below:

¹ Albury City, March 2023. *Albury Local Housing Strategy*, 11.

- The existing statement of significance prepared by Council states that 485 Swift Street contributes to the key period of development and significance of the inner-city residential ring, which is the Victorian and early Federation period of subdivision and development. As an Inter-War building, 485 Swift Street is not associated with this key period of development and does not reach the threshold of significance under this criterion, as outlined in more detail at Section 5.3.2. The dwelling does not reach the threshold of local significance under any other criterion.
- 485 Swift Street was built by and resided in by the Abikhair family, owners of the nearby Abikhair Emporium. The Abikhair's Emporium building to the west on Swift St represents the contribution of the family to the development of Albury in a more tangible and significant manner, as the family are associated with economic activity. Further, the Abikhair Family have provided written confirmation that the dwelling is not of any associative or social significance to their family.
- Section 4.2 of this HIS includes a thorough comparative analysis of Inter-War Bungalows within Albury. This comparative analysis demonstrated that there are numerous examples of Inter-War Bungalows of equivalent significance and aesthetic contribution within Albury and its surrounding suburbs. As such, the dwelling is not rare in quantity or able to demonstrate qualities not seen in the other examples of Inter-War Bungalows. As above, the subject site at 485 Swift Street located within an eroded setting and under additional pressures to meet housing and infrastructure demands due to its location in the CBD. The other examples are in residential areas within the inner suburbs of Albury surrounded by other residential scale properties and located within a contributory context and setting. Many of these examples are situated in rows of Inter-War Bungalows which form a consistent streetscape character and demonstrate the outwards expansion of housing development in Albury within the Inter-War period. For these reasons, demolition of the structure is considered justifiable and acceptable from a heritage perspective for the provision of high density housing in the CBD area.
- In 2013 a Development Application was lodged for the demolition of 485 Swift Street, Albury, and was approved (10.2013.32482.1) however never acted upon.
- The subject dwelling at 487 Swift Street (*Albury LEP 2010* 1166) has previously reached the threshold of local significance however is so significantly deteriorated and in a state of disrepair that to be habitable would require extensive almost complete reconstruction. Further historical research, site investigation, comparative analysis and significance assessment by Urbis has determined that demolition is acceptable due to the strategic nature of the site and the poor condition of the dwelling. Therefore, demolition of the dwelling at 487 Swift Street is acceptable from a heritage perspective for the following reasons:
 - The dwelling is in very poor condition and has been condemned by a structural engineer (see Appendix A). The building is not safe for entry or use. Urbis' Heritage Architect has attended the site and also confirms that it is in a severe state of deterioration including partial collapse of the floor structure and would require extensive – almost holistic – reconstruction for any form of continued use. The dwelling is no longer structurally sound and would require extensive structural and reconstruction work. This would result in significant impact and loss of significant fabric due to replacement requirements and extensive loss of interior features. Whilst some external fabric may be suitable for salvage and reuse based on the condition, replacement would be extensive. The poor structural condition is also confirmed by a structural engineering report (see Appendix A). Due to the reduced integrity of the dwelling and the extensive reconstruction and structural intervention required, retention of this item would be financially substantial and potentially unreasonable. Given this item's contribution as per the statement of significance (discussed below) there are many other examples of this period of dwelling that provide this. Further, an archival recording and Heritage Interpretation Plan to be developed for this site can also demonstrate the understanding of the contribution to the history of Albury without requiring retention of this significantly deteriorated building.
 - Further, the existing statement of significance prepared by Council states that 487 Swift Street contributes to the *inner ring of housing around the retail core*. As above, this is the Victorian and early Federation period of subdivision and development. 487 Swift Street was constructed in this period of development, however, is in such poor condition that retention is difficult (as discussed above). The statement of significance relates to inner housing around the retail core. A robust heritage interpretation plan can provide this understanding within a new development. An archival recording is also recommended to allow historical recording contributing to the understanding of the development.
 - In 2013 a Development Application was lodged for the demolition of 487 Swift Street, Albury. This application was approved (DA 10.2013.32527.1) however never acted upon.

In addition to the above impact assessment regarding demolition of the listed heritage items, a detailed impact assessment at Section 6 contains the following key points regarding potential impact of the development on the non-listed subject building as well as vicinity heritage items and conservation areas:

- The proposed development would also include the construction of a seven-storey mixed use residential apartment building within the subject site. The proposed new building would be acceptable from a heritage perspective and would not result in any adverse impact to vicinity heritage items or to the vicinity Heritage Conservation Area for the following reasons:
 - The proposed residential apartment building would not result in physical or direct impacts to any vicinity heritage items or Heritage Conservation Areas.
 - The proposed residential apartment building is of a scale and height which would be sympathetic and acceptable within the Albury Central Business District and in the context of the vicinity heritage items as the proposed development and the vicinity heritage items are located within separate view corridors and are spatially separated. As Swift Street is a wide tree-lined street there is adequate visual separation between the subject site and the vicinity items. The historic development of the Albury town has varied building typologies and heights and therefore the proposed height has other precedents in the CBD. Furthermore, the area is marked for growth and the proposed height is in accordance with the established height controls of 35m for E2 Commercial Centre zoning within the CBD. As such, further development and future setting is expected to be of an equivalent height scale. While larger than other current existing development in the vicinity, the proposed height and scale of the residential apartments would not visually dominate the streetscape of Swift Street and would not detract from the historic character of the area and the vicinity heritage items given its view lines.
 - The proposed building is of an appropriate bulk and massing, which is reduced through the overall building design, incorporating a ground floor podium level, with four distinctive bays on the front façade which are set back from the podium. The design utilises curved corner forms and a sympathetic balance of solid and void which furthermore reduces the visual bulk of the form and the façade design. Sympathetic landscaping, including vertical garden and overhanging terrace plantings further softens the appearance of the building and ensures it is sympathetic within the streetscape.
 - The northern side of Swift Street typically features single to double-storey height development, behind which (i.e. to the north) is further low-scale residential setting. This low-scale development forms the height character of northern of Albury. However, the subject site is located on the south side of Swift Street, which features typically double-storey development including the Albury Central shopping centre and the Abikhair Emporium building to the west of the subject site. When viewed looking south from the northern side of Swift Street, the taller buildings on Dean Street (also of two-three storeys) are visible behind the subject site and therefore the proposed development would always be viewed in the visual context of increased bulk and height. This ensures that the height of the proposed development is not of an unsympathetic scale within the visual context of the subject site.
 - The proposed residential apartment would not obstruct any significant views along Swift Street, including views to, from and between heritage items and the nearby Heritage Conservation Area. Further, the proposed apartment building would not visually dominate the streetscape on account of its appropriate bulk, height and scale (as above), and furthermore is of an appropriate sympathetic materials, colours and finishes palette which would ensure it is recessive within its setting. This includes the use of light coloured, earthy brickwork which is in a neutral tone and matte finish. The materials palette would also include powdercoated metals in neutral tones, timber, and glazing.

RECOMMENDATIONS

For the above reasons the proposal is recommended for approval from a heritage perspective having regard to the following recommendations.

- A Planning Proposal should be submitted to Albury Council to amend Schedule 5 of the *Albury Local Environmental Plan (LEP) 2010* to remove the subject heritage listings from the Schedule following demolition of the items.
- Prior to the issue of a Construction Certificate, a Photographic Archival Recording should be undertaken of the places and must be prepared in accordance with the Heritage NSW Guidelines for 'Photographic Recording of Heritage Items Using Film or Digital Capture'.

- A Heritage Interpretation Strategy should be prepared for the site by a suitably qualified heritage consultant as a condition of the approval. The Heritage Interpretation Strategy should identify significant themes and narratives for interpretation, as well as identifying potential locations, media, and indicative content for interpretation. Interpretation should be developed throughout detailed design and construction phases in conjunction with the project architect and other specialists as required.

1. INTRODUCTION

1.1. BACKGROUND

Urbis has been engaged by Joss Constructions to prepare the following Preliminary Heritage Assessment and Advice for 481-487 Swift Street, Albury (the subject site) considering the proposal to demolish the 3 buildings and construct a new residential apartment building.

The subject site comprises three freestanding dwellings (two of which are at 481 Swift Street and one at 487 Swift Street), which are listed on the Albury Local Environmental Plan (LEP) 2010 as:

- *House, 485 Swift Street, Albury (Item 164)*
- *House, 487 Swift Street, Albury (Item 166)*

The subject site is also located within the vicinity of Heritage Conservation Areas and heritage items.

This Preliminary Heritage Assessment has been prepared to provide a significance assessment and preliminary advice regarding the feasibility for alterations, additions or demolition of the existing structures at the subject site.

1.2. SITE LOCATION

The subject site is located on Wiradjuri Country within the boundaries of the Albury & District Local Aboriginal Land Council. The subject site is located at 481-487 Swift Street, Albury and is legally described as Lot 20, DP 78023 and Lots 1 DP 912511.



Figure 1 – Location of the subject site outlined in red

Source: SixMaps

1.3. METHODOLOGY

This Heritage Impact Statement has been prepared in accordance with the NSW Heritage Division guidelines 'Assessing Heritage Significance', and 'Statements of Heritage Impact'. The philosophy and process adopted is that guided by the Australia ICOMOS Burra Charter 1999 (revised 2013).

Site constraints and opportunities have been considered with reference to relevant controls and provisions contained within the Albury Local Environmental Plan (LEP) 2010 and the Albury Development Control Plan 2010.

Information regarding the structural integrity and condition of the dwelling at 487 Swift Street, Albury has been extracted from *Structural Conditions Report, 487 Swift Street, Albury*, prepared by Connex Group (31/7/2022).

1.4. AUTHOR IDENTIFICATION

The following report has been prepared and endorsed by Kate Paterson (Director).

Unless otherwise stated, all drawings, illustrations and photographs are the work of Urbis.

1.5. THE PROPOSAL

It is proposed to demolish the existing three dwellings at the subject site and construct a new seven-storey residential apartment, including:

- Demolition of 481 Swift Street
- Demolition of 485 Swift Street
- Demolition of 487 Swift Street
- Land clearance/remediation earthworks
- Excavation for one level of basement carpark
- Construction of a seven-storey mixed use residential apartment building with ground floor retail tenancies
- Associated landscaping.

Urbis has been provided with drawing documentation prepared by Cohen Leigh Architects. This HIS has relied on these plans for the impact assessment include in Section 5.0. Extracts of the proposed plans are also provided overleaf. Full size plans should be referred to for detail.

Table 1 - Provided Plans

Author	Drawing No.	Drawing Name	Revision	Date
Cohen Leigh	5.10	Plan – Level Basement	A	6/4/2023
Cohen Leigh	5.11	Plan – Level Ground	A	6/4/2023
Cohen Leigh	5.12	Plan – Level 1	A	6/4/2023
Cohen Leigh	5.13	Plan – Levels 2-4	A	6/4/2023
Cohen Leigh	5.14	Plan – Level 5	A	6/4/2023
Cohen Leigh	5.15	Plan – Level 6	A	6/4/2023
Cohen Leigh	5.16	Plan – Roof Terrace	A	6/4/2023
Cohen Leigh	5.17	Plan – Roof	A	6/4/2023

Cohen Leigh	5.20	Area Analysis – GBA	A	6/4/2023
Cohen Leigh	5.21	Area Analysis – FSR	A	6/4/2023
Cohen Leigh	5.22	Area Analysis – FSR Summary	A	6/4/2023
Cohen Leigh	5.23	Area Analysis – Communal & Public Open Areas	A	6/4/2023
Cohen Leigh	5.23	Area Analysis – Landscape Areas	A	6/4/2023
Cohen Leigh	5.30	Elevation – North	A	6/4/2023
Cohen Leigh	5.31	Elevation – East	A	6/4/2023
Cohen Leigh	5.32	Elevation – South	A	6/4/2023
Cohen Leigh	5.33	Elevation – West	A	6/4/2023
Cohen Leigh	5.40	Section 1	A	6/4/2023
Cohen Leigh	5.41	Section 2	A	6/4/2023
Cohen Leigh	5.42	Section 3	A	6/4/2023
Cohen Leigh	5.43	Section 4	A	6/4/2023
Cohen Leigh	5.44	Section 5	A	6/4/2023
Cohen Leigh	5.45	Section 6	A	6/4/2023

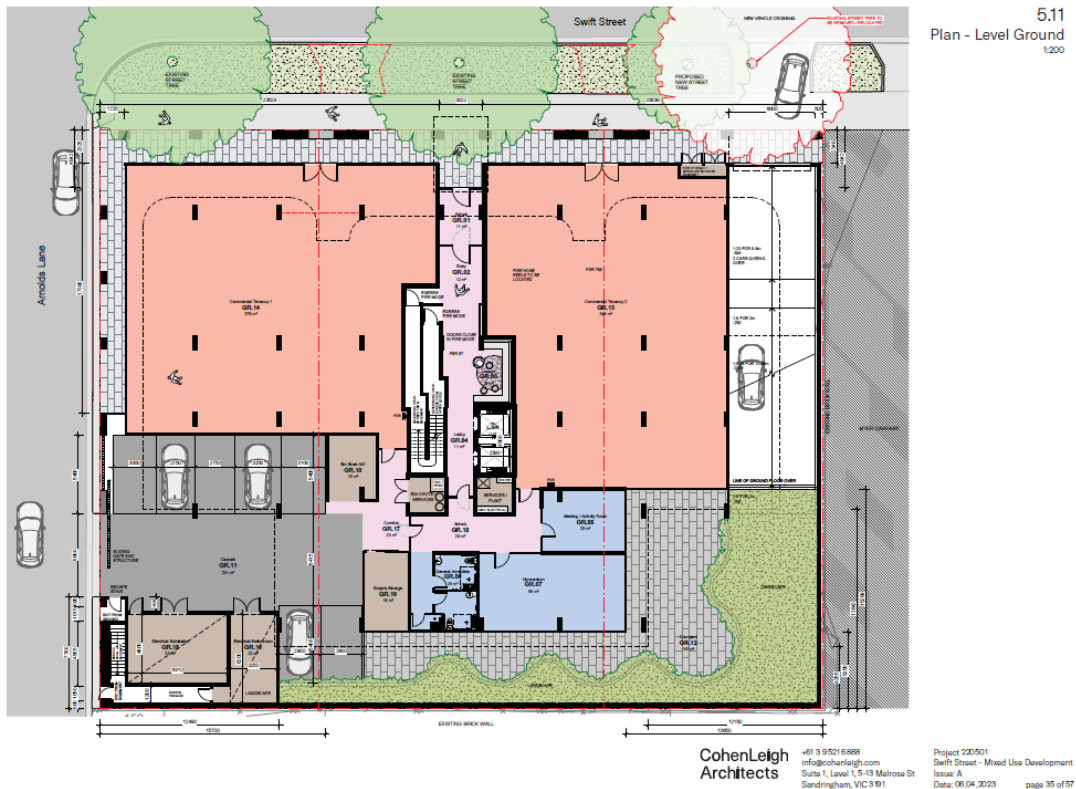


Figure 2 – Ground Level Plan

Source: Cohen Leigh



Figure 3 – Level 1 Plan

Source: Cohen Leigh

5.30
Elevation - North
1:200

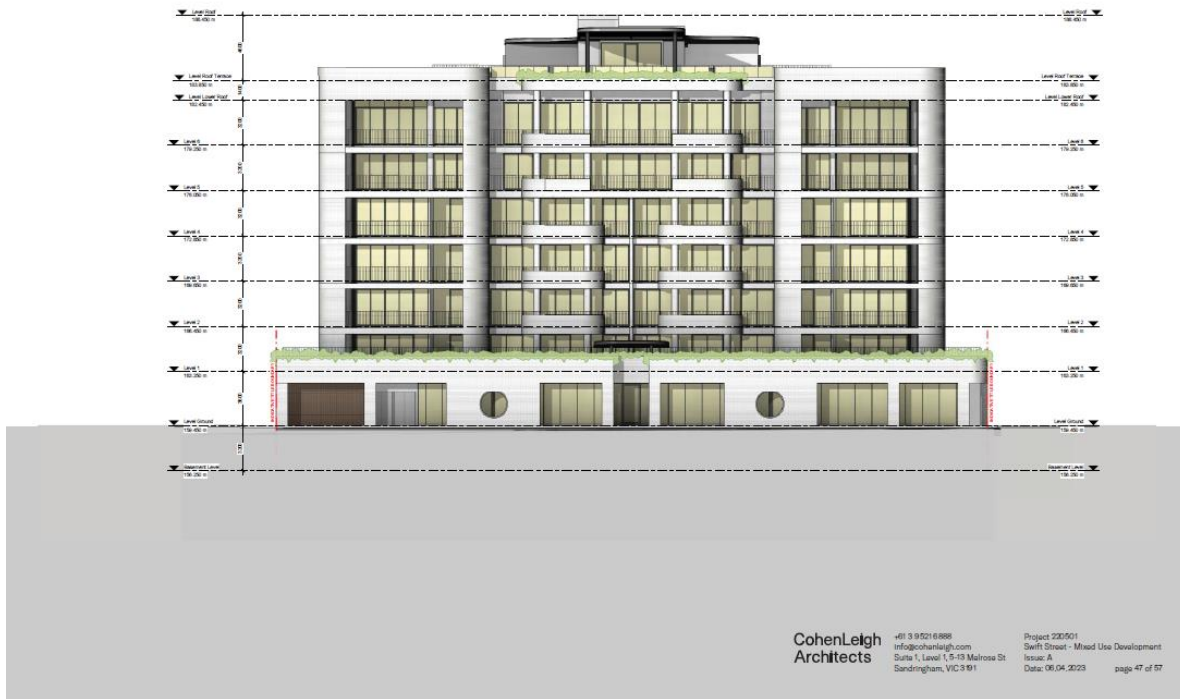


Figure 4 – Elevation – North

Source: Cohen Leigh

5.31
Elevation - East
1:200

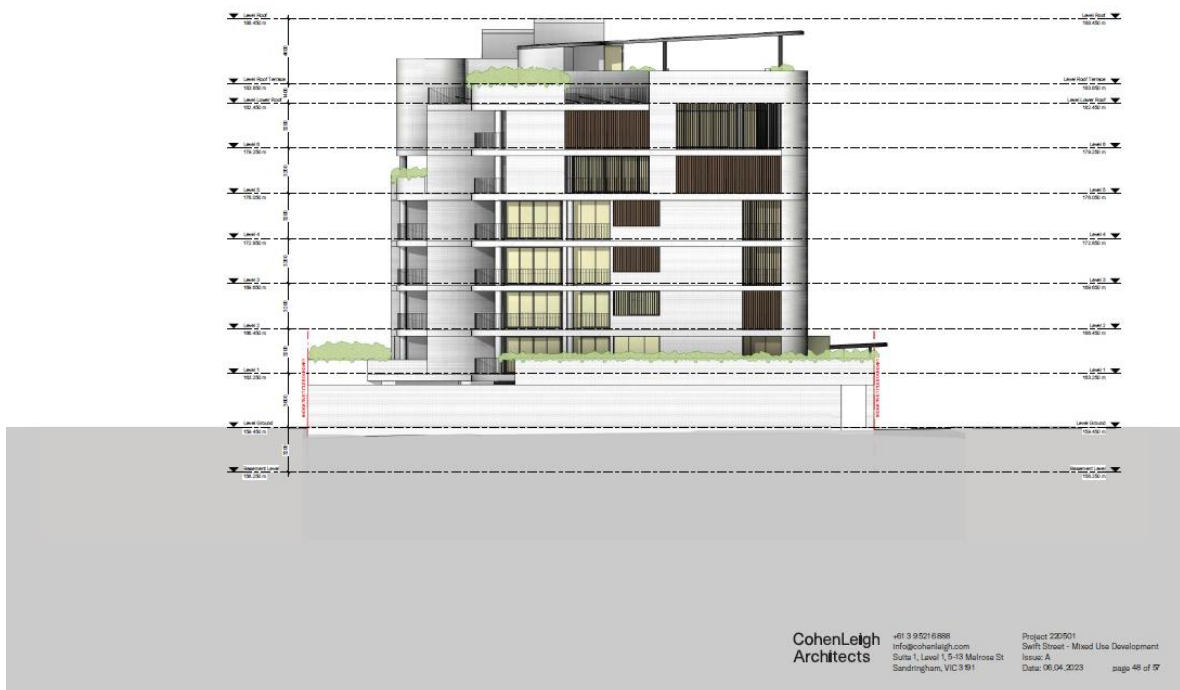


Figure 5 – Elevation - East

Source: Cohen Leigh

5.32
Elevation - South
1:200

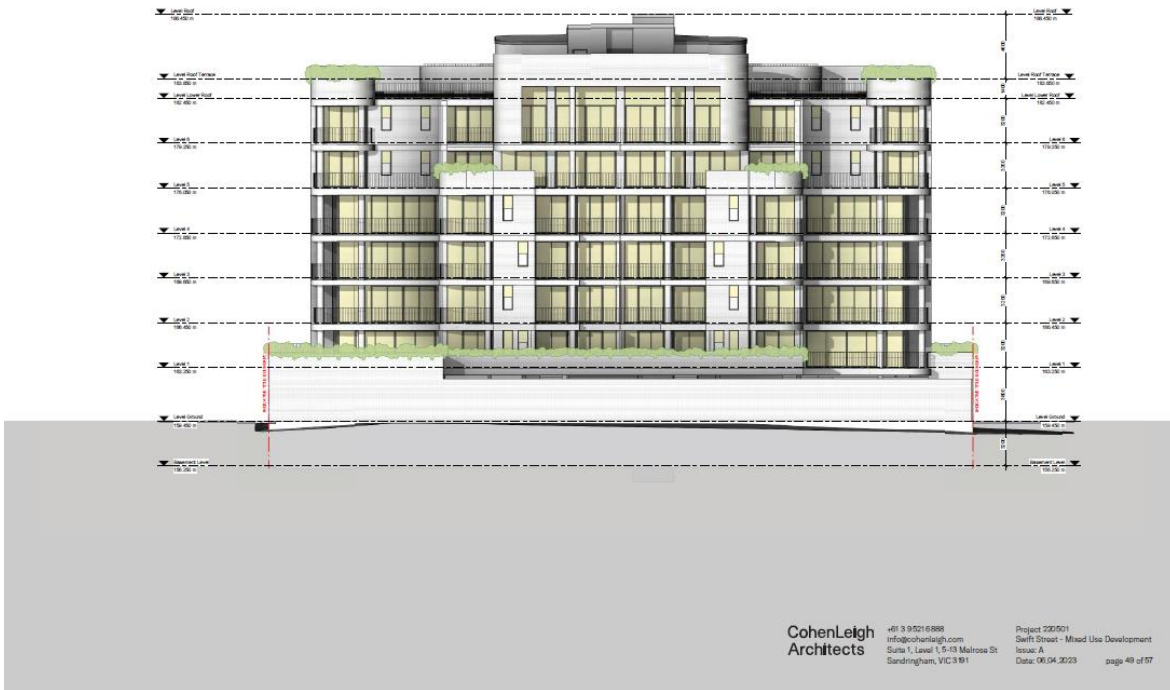


Figure 6 – Elevation - South

Source: Cohen Leigh

5.33
Elevation - West
1:200



Figure 7 – Elevation - West

Source: Cohen Leigh



Figure 8 – Render of proposed north elevation

Source: Cohen Leigh

2. SITE DESCRIPTION

2.1. SITE SETTING

The subject site is located at 481-487 Swift Street, Albury and is legally defined as Lot 20, DP 78023 and Lots 1 DP 912511. The subject site is located within the northern part of the Albury Central Business District (CBD). The subject site is located approximately 250m north of Dean Street, Albury's main street, and is located immediately north/west of Albury Centrepoint shopping mall. The subject site is located directly adjacent to and opposite to the at grade sealed carparking associated with the CBD and retail facilities.

The subject site is located within an area of mixed architectural style, encompassing mid- and late-20th century retail developments and shopfronts, interspersed with historic Victorian and Federation period stores. The subject site is located directly opposite a Federation dwelling which has been converted into a store; a double-storey colonial/Federation store; and a contemporary shopfront and carpark.

To the west of the subject site is Arnold's Lane, a sealed access road which provides loading access to the Centrepoint shopping mall. On the opposite (west) side of Arnold's Lane is an Inter-War commercial store featuring a typical parapet wall with various shopfronts, which is adjoined to the original Abikhair Emporium store on the corner of Swift and Olive Streets.

The streetscape is characterised by a dual carriageway road of three lanes in either direction separated by a concrete median strip. The street is also characterised by mature street trees.



Figure 9 - Aerial view of subject site outlined in red, with each dwelling labelled.

Source: SixMaps with Urbis markup



Figure 10 – The original Abikhair Emporium on the corner of Swift Street and Olive Streets



Figure 11 – Albury Centrepoint



Figure 12 – Overview of Swift Street



Figure 13 – Overview of Swift Street

2.2. SITE DESCRIPTION

2.2.1. 481 Swift Street, Albury

The subject site includes 481 Swift Street, Albury, which is the easternmost dwelling on the subject site. The dwelling is a c.1880s-1890s brick dwelling, which is somewhat intact however has become dilapidated over time and is in poor condition. The dwelling features a corrugated hipped roof with verandah built on brick piers. The form overall is simple and typical of the time period, c.1890s, with simple timber-sash double-hung windows on the side elevations. The dwelling also features two matching red-brick chimneys. The property is not heritage listed nor in a conservation area.



Figure 14 – Exterior of 481 Swift Street, Albury



Figure 15 – 481 Swift Street, Albury from the east

2.2.2. 485 Swift Street, Albury

485 Swift Street is an Inter-War California Bungalow constructed c.1929 and demonstrates the typical characteristics of the architectural style. The dwelling features a form typical of the Inter-War California style, including red-brick materiality and verandah with low brick wall and columns. The verandah features a simple plastered soffit. The building also features a double-gable, with the primary gable above the colonnaded verandah and featuring deep eaves and stuccoed gable. The small verandah also features deep timber lined eaves and awning over the windows, which includes exposed rafters. The front elevation has been modified by the removal of the original windows and front door, and replaced by large aluminium windows and front door attached, however within the principal rooms the original leadlight windows are retained, albeit obscured by the window screening. This has somewhat reduced the overall integrity and intactness of the principal façade. The building has been further altered at the rear, including large aluminium windows, although the side windows feature original rendered lintels.



Figure 16 – Overview of 485 Swift Street



Figure 17 – Rear of 485 Swift Street



Figure 18 – Main entrance to the dwelling



Figure 19 – Overview of the verandah

Internally, the dwelling features a long hallway down the house, featuring columns matching the front verandah built into the hallway architraves. The hallway also features a decorative and intact cornice comprising a dentil cornice and floral patterned cornice situated above original mahogany picture rails. Also on the ceiling is an interesting decorative detail of floral plaster and timber details which run across the ceiling to the front door. Off the hallway are entrances to several rooms, each of which feature original decorative architraves and original solid timber doors with inset panelling.

Each principal room features decorative ceilings with floral and geometric motifs, with the rooms bordered by floral cornices interspersed with keystone motif. Contemporary fluorescent lighting has been installed in the centre of these ceilings, however, has not directly impacted any of the plaster detailing itself. Internally, the window architraves are also timber and continue the same decorative architraves as seen on the doors throughout the dwelling. Internal rooms also feature original air vents and localised original skirting.

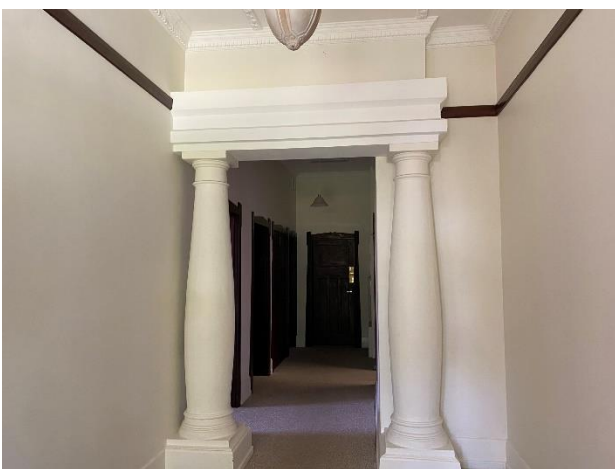


Figure 20 – Internal hallway of 485 Swift Street



Figure 21 – Decorative ceilings and cornices



Figure 22 – Decorative ceiling and internal windows



Figure 23 – Decorative ceilings



Figure 24 – Hallway looking back to front door

2.2.3. 487 Swift Street, Albury

487 Swift Street, Albury is the westernmost dwelling within the subject site and is a late 1800s weatherboard cottage, likely constructed by Albury builder John Henry Bell in c.1890. The cottage features a typical late Victorian cottage form, characterised by a central front door with timber double-hung sash windows on either side. The dwelling features a bullnosed verandah of corrugated iron cladding on timber posts and with decorative wrought iron filigree detailing. The roof is a simple hipped form clad in corrugated iron. The dwelling also features two brick chimneys at the rear. The verandah flooring includes weathered timber, replaced in localise areas with MDF boards. The front door has been boarded up and the side elevations have been altered with the former double-hung windows replaced with aluminium frames and corrugated iron window awnings, replacing what would have previously been decorative metal awnings. The rear elevation has also been modified, with metal sheets installed across portions of the rear elevation, potentially as a result of water ingress or termite damage.

Overall, the dwelling is in very poor condition, with many portions of weatherboard cladding heavily weathered and damaged likely beyond repair. Other elements such as the roofing and rainwater goods are also degraded and in need of replacement.



Figure 25 – Front elevation of weatherboard cottage



Figure 26 – Side elevation of weatherboard cottage



Figure 27 – Boarded up front door



Figure 28 – Modified side window



Figure 29 – Modified/boarded up side elevation



Figure 30 – Side elevation from Arnold's Lane

3. HISTORICAL OVERVIEW

3.1. HISTORICAL SOURCES

This historical background has been prepared with reference to the following sources:

- *City of Albury City Wide Heritage Study*, City of Albury and the NSW Heritage Office, 2004
- *Albury Central Area Heritage Study*, 1990

3.2. HISTORY OF ALBURY

3.2.1. Early Settlement

The following historical background has been extracted from the *City of Albury City Wide Heritage Study*.

The settlement of the area now known as Albury was established after a partially Government funded exploration by Hamilton Hume and Captain William Hovell. The expedition led the two men and their team through the region in 1824. It was not until 1835 that the occupation of the area by European settlers commenced.

Initial settlement was established in the vicinity due to the necessity for an organised crossing place on the Murray River. The crossing place was instituted to enable the control of river crossings and to police the payment of Border taxes. Supplies and recuperation were also provided to travellers before their journeys continued across the river.

By the late 1850's several cattle stations were established in the Albury region, the most substantial being the Mungabareena and Bonegilla Stations encompassing the land on which the suburbs of Albury, Lavington and Thurgoona now exist.

Additional industries established during the 1800's in Albury included gold mining, quartz mining, vineyards and timber collection. Gold and quartz mining was undertaken in the hills surrounding Albury, including Nail Can Hill and Black Range.

Gold was found north of Albury at Black Range, now named Lavington, in 1852. This discovery led to the opening of several mines throughout the Albury area. Nail Can Hill was selected as a digging site after the establishment of the 'Black Range Diggings'. Located on the western side of Albury, and now a flora and fauna nature reserve, Nail Can Hill was the location of one of Albury's goldfields during the mid to late 1800's.

In 1881 the Nail Can Hill diggings were taken over by the Albury Gold Mining Company. The company sank a 130ft shaft, driving it 231ft deep after the discovery of the 'Morning Star Reef'. It is believed that this mine was filled in during the 1990's due to the safety regulations. Mining at the Nail Can Hill diggings by the companies ceased in the late 1880's, while gold and quartz mining continued at Black Range and new diggings were opened at Hawksview, to the east of Albury. The Albury region was also renowned for its production of wine. Several wineries and vineyards were operating during the 1800's and early 1900's. Ruins of some of the wineries are still visible today.

Three German men were instrumental in the establishment of the viticulture industry in Albury, Sebastian Schubach, Heinrich Rau and Johann Frauenfelder. Schubach and Rau hailed from Erbach in the Rhine province where they have been vintners and Frauenfelder from the Greater Saxony. The men left Germany in 1848 during the countries rise of nationalism. All three commenced work in 1848 for O. Smith, who later became known as "Kyamba" Smith, the owner of the Kyamba winery, sixty miles south west of Albury on the Murray River.

In 1851 the three men established the first vineyard in Albury when they planted ten acres of vines near the Bungambrawatha Creek between Kiewa and Guinea Streets. The grapes were initially sold to the miners, but the three foresaw a greater potential for their produce.

Thus the Murray Valley Association was formed as a joint stock company. In 1867, the company auctioned the vineyard which was purchased by J.T. Fallon, who in the early 1870's built the renowned wine cellars in Albury in Kiewa Street. Fallon's cellars ranked first in capacity and importance at that time.

During the 1890's the district was threatened by vine diseases. Measures were taken to stop the spread of phylloxera. Other prevalent diseases included odium and black spot. Some of the vineyards ceased production at this time, others planted disease resistant stock, and continued to produce wine until the early to mid 1900s.

3.2.1.1. Albury as a Thoroughfare Town

The initial settlement by non-Indigenous people of Albury commenced due to the necessity for a guarded border crossing in 1836. The site consisted of a customs houses, a small supply store and later, a modest police station. The store, owned by Robert Brown, provided provisions, accommodation and clothing to travellers. The customs house was utilised to collect taxes and police river crossings.

Trade and settlement continued to increase around the river, with the first paddle steamer, the *Albury*, reaching the settlement in 1855, captained by George Johnston. The Albury Wharf was constructed around this time, with goods including bricks, wool and oats being transported to and from Albury. Paddle steamers that were docked at the Albury Wharf included the Lady Darling, the Lady Augusta, the Kelpie and the Cumberona. Trade on the Albury section of the Murray River became abruptly obsolete with the construction of the railway line between Sydney and Melbourne in 1881.

The extension of the NSW railway line to Albury resulted in a large economic boost for the community. The Victorian railway line had reached Wodonga in 1873, but the line between the two townships was not connected. The railway line provided additional transport services for goods and people to and from the larger cities, which resulted in the boost for trade and tourism. The main railway station was positioned at the end of Smollett Street in central Albury, with less substantial stations strategically placed at Lavington, Thurgoona and Attamogah.

Increased trade also resulted in the demand for accommodation and related services. Numerous hotels, stores and residences were constructed to support the population and industry growth. Buildings directly associated with the railway were also constructed, such as railway employee residences and storage facilities. The line was joined between Albury and Wodonga in 1883 creating more efficient trading between the two towns and subsequently, two States. A change over of the cargo and passengers was necessary at the Albury platform due to a lack of State uniformity between the line gauges, creating additional employment in the area. The transshipment between trains also required an unusually long platform, in comparison to others in the country. The Albury platform was designed to accommodate two trains simultaneously.

3.2.1.2. Albury as a Border Community

The Albury and Wodonga area has retained its reputation as a trading area and crossing place, with major highways and the existing railway line linking areas between Sydney and Melbourne. The location of Albury and Wodonga has resulted in the cities being the centre of activity and trade between NSW and Victoria.

While the two cities share the attribute of being a border community on the Murray River, differences between State legislation and policy has created contention. Marking of the State boundaries in 1850, duties and tariffs introduced in 1854 by New South Wales and later by Victoria, were some of the initial differences that would continue to the present day. Tariffs were abolished in 1855, but soon reinstated in 1872. Soon after the reinstatement, the North-Eastern Railway line reached Wodonga. Goods were now being transported between the States over the Union Bridge to the Wodonga Railway Station. Even though both States were benefitting from the introduction of the railway, tariffs were still collected on the crossing of the border. Tariffs on the border were in place until the Federation of Australia, when border crossing taxes seemed to be no longer appropriate.

The current climate between the two cities remains one of competition, although lessened since the abolishment of State tariffs. Several proposals have been put forward to join the two cities in an attempt to create one set of legislation, but to no avail.



Figure 31 – Overview of the town of Albury looking east, 1891

Source: Francis Myers, 'Albury' 1891. State Library of New South Wales DSM/Q981.7/A
<https://collection.sl.nsw.gov.au/record/74VMQ4KzrJWd>



Figure 32 – Overview of Dean Street, c.1891

Source: Francis Myers, 'Albury' 1891. State Library of New South Wales DSM/Q981.7/A
<https://collection.sl.nsw.gov.au/record/74VMQ4KzrJWd>

3.2.1.3. Albury as a Migrant Centre

Australia's population of non-Indigenous people have migrated to the continent from all areas of the world. There have been several periods of large populations migrating to the border region. The first influx was the European settlement of the area from the 1835. A continual stream of people moved to the area, creating the initial township.

The second period commenced due to the gold rush period of the 1850's, when migrants were searching for work. The prospect of gold in the region resulted in people from China, America and Europe converging to Albury and surrounding regions. While records of workers at the diggings are not detailed, some mention is made of workers around the diggings who included men and women of Chinese and African American descent. Evidence of Chinese people working on the gold fields is recorded and is still distinguishable by the remaining round mine shafts, differentiated from the square shafts of the European miners. Some of the works from the diggings remained in the Albury region, while most moved on to other sites.

The next substantial group of migrants were relocated to the Albury region following WWII. The government policy to repopulate Australia following the war resulted in a large number of migrants from Europe. The policy was initially marketed towards Dutch and British people, but lack of interest from the two groups resulted in the scheme being presented to the wider population of Europe, with people also migrating from Greece, Poland, Yugoslavia, Czechia, the Ukraine, and Germany. Necessity for accommodation of the new Australians resulted in the construction of 'Bonegille', a camp to accommodate and process migrants. The camp operated from 1947 to 1971 and processed approximately 320,000 people.

Albury's population is composed of people originating from the five continents. It is impossible to separate the migrant history of Albury from the city's heritage, as the majority of Albury's development and character is the result of migrant groups and their cultures.

3.3. HISTORY OF THE SUBJECT SITE

The subject site originally formed part of the land grant of Sebastian Schubach younger in 1885, with the grant intended to be passed on to his wife Eva as recorded in his will. The grant was a town-centre plot comprising of 20 acres and 2 roods. The Schubach's were an Albury based family who were winegrowers. The family are considered pioneering families in Albury, arriving in 1851. The family were German migrants to the area, with the first Germans arriving in Australia in 1838 to work with the Macarthur family to develop Viticulture industries at their property in Camden. This involved a group of six German families who moved to Camden and following the success, requests were made to bring another group of experienced winemakers to New South Wales. In 1850, letters to friends and family were taken back to Germany by the Hamburg Consul in Sydney, Wilhelm Kirchner. This included letters from Sebastian Schubach the elder, discussing their relocation to Albury and planting of the first grape vines in the town. This developed Albury's winemaking and viticulture industry. Their contribution to the town's development was so great at the time that the Schubach's were honoured with inscribed silver jugs from the townspeople.

These letters resulted in several other families from Rheingau and Baden coming to Australia and steadily increasing German settlement in the area. This included typically Lutheran groups settling in Albury and surrounding suburbs of Jindera, Gerogery, and Walla Walla, predating the settlement along the Murray River in South Australia, which began from 1867. The number of Germans in Albury was so great that by 1857 the Irish parish priest, Reverend Cornelius Twomey, had learned German and was preaching sermons in German by the end of the year. The town held its first German Ball in 1858, which was well attended and abundant with German foods, wines and dancing. Settlement in New South Wales was bolstered by Government incentives and good land availability. In 1870, a 'Testimonial' was held to the 'pioneers of the vine' at the Imperial Hotel in Albury, celebrating the Schubach, Rau and Frauenfelder families.² Sebastian Schubach passed away in 1868 and was widely mourned throughout the town, as recorded in *The Albury Banner and Wodonga Express*:

The Late Mr. Schubach

It is our painful duty this week to chronicle the death of one of our oldest and most respected citizens, Mr Sebastian Schubach, who died at his residence on Wednesday last, after a long and protected illness. Mr Schubach, in company with Mr Rau and Mr Frauenfelder, came up

² The Australasian, 7 May 1870. 'Testimonial to the Pioneers of the Vine.' Accessed online:
<https://trove.nla.gov.au/newspaper/article/138064491?searchTerm=sebastian%20schubach%20albury>

to Albury overland in 1851, arriving here on the 14th May. They were, with one or two exceptions, almost the first pioneers of civilization in these remote inland districts, for they only found on their arrival three or four bark huts upon the site of our present city. They took three acres of land between them, an acre to a man, and thereon made the first vineyard known in three parts – this ground is now Crisp's vineyard. Thus beginning with littler, they continued in joint possession of their three acre plot of vines for seven years; and by that time, by hard labor and frugality, each of the three had saved enough money to buy plenty of land for himself, whereon to grow vines and garden and farm produce. Mr Schubach was universally liked and respected, and whenever a Governor or Minister of importance visited Albury they were sure to give him a call. On the other hand, he took great interest in all public matters, and was ever a good neighbour and a good townsman. He died in the fifty-seventh year of his age, and was buried yesterday afternoon, being followed to the grave by above 50 vehicles and 150 horsemen. This was one of the largest funerals ever seen in Albury.³

Sebastian's estate was transferred to his wife Eva.⁴ The subject site was granted to Sebastian Schubach the younger on 24th November 1877. Sebastian had been born in Germany in 1844 and appears to have emigrated to New South Wales as a child with this family. Sebastian was a carpenter who operated a store in Albury, which was a weatherboard cottage owned by Mrs McArthur. The property was lost in a fire in August 1886, following an accident in which a staff member was lighting a fire for the glue pot but a spark went onto shavings and sent the building up.⁵ Sebastian Schubach the younger also held a license for vineyards and distilling brandy in the mid-1870s, continuing the family tradition.⁶

Sebastian Schubach passed in 1916, with the following eulogy in *The Albury Banner and Wodonga Express*:

There died at Ararat on Good Friday night, Mr. Sebastian Schubach, of Albury. Deceased arrived in Albury with his parents in May, 1851, at the age of seven years. His father was one of the first pioneers of Albury, planting the first grapes for wine making. The late Mr Schubach, being in failing health, decided about three months ago to take a trip to Ararat, to see his daughter, thinking the change would do him good, but he got seriously ill shortly after his arrival there. Deceased was of a very quiet and unassuming disposition. He had been a member of St. Patrick's Church choir since he was 17 years old. He leaves one daughter, Mrs T. G. Grano, of Ararat, and a sister, Miss Schubach, of Albury, with whom he resided for the last 17 years.⁷

³ *The Albury Banner and Wodonga Express*, 22 Feb 1868. 'The Late Mr Schubach.' Accessed online: <https://trove.nla.gov.au/newspaper/article/264161682?searchTerm=sebastian%20schubach%20albury>

⁴ *New South Wales Government Gazette*, 9 Feb 1869. 'Ecclesiastical Jurisdiction'. Accessed online: <https://trove.nla.gov.au/newspaper/article/228676869?searchTerm=sebastian%20schubach%20albury>

⁵ *The Corowa Free Press*, 27 August 1886. 'Albury'. Accessed online: <https://trove.nla.gov.au/newspaper/article/234844102?searchTerm=sebastian%20schubach%20albury>

⁶ *New South Wales Government Gazette*, 9 March 1875. 'Government Gazette Notices.' Accessed online: <https://trove.nla.gov.au/newspaper/article/223654488?searchTerm=sebastian%20schubach%20albury>

⁷ *The Albury Banner and Wodonga Express*, 28 April 1916. 'Personal and Social.' Accessed online: <https://trove.nla.gov.au/newspaper/article/101150291/10814081>

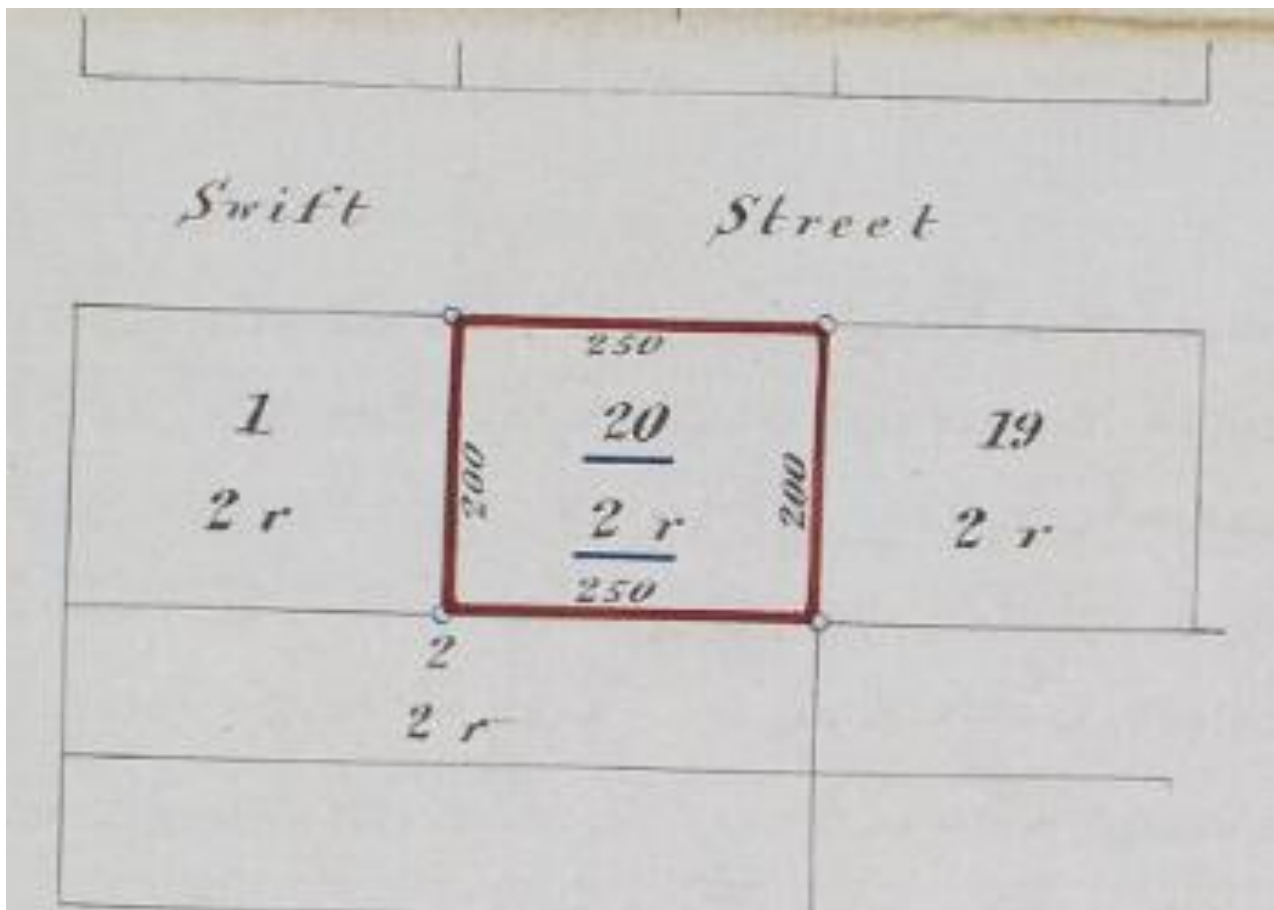


Figure 33 - Land granted to Sebastian Schubach, 24 November 1877

Source: Vol-Fol 322-235

While Sebastian Schubach was granted the plot of land which contains the subject site on November 24, 1877, he did not hold the land for long, selling the land to Keith McLennan only a year later. McLennan was an Alderman in the local Borough Council and was involved in formalisation and beautification of Swift Street in the 1870s, including the construction of gravelled footpaths on Kiewa Street, Swift Street, and Wilson Street in 1877.⁸ In the following year street crossings were created at the intersections of Swift and Kiewa Street and at Swift and Olive Street, showing that Swift Street was growing and well occupied by townspeople, requiring facilities. Swift Street appears to have also had an agricultural presence of a Pound, with newspaper records noting that steers and a filly were held at the Pound and available for collection by their owner.⁹ Street lamps were also installed at this time.¹⁰ In a Council meeting in July 1879, Alderman Reinhardt “called attention to the state of Swift Street near Mr. Nelson’s cottages” with the matter referred to the Public Works Committee, suggesting that the area was in some disarray.¹¹

Like Schubach however, it does not appear that Keith McLennan undertook any development at the site. The subject site was subsequently sold to George Day in 1889. Day subsequently subdivided the site into two parcels, one comprising 1 roof and 15 perches, while the other lot comprised 24 ¼ perches. At this time the site remained undeveloped, as evident in the Land Titles Records.

⁸ *The Albury Banner and Wodonga Express*, 29 September 1877. ‘Albury Borough Council.’ Accessed online: <https://trove.nla.gov.au/newspaper/article/257954168?searchTerm=swift%20street%20albury>

⁹ *New South Wales Government Gazette*, 9 December 1879. ‘Albury – Impounded at Albury, on the 27th day of November, 1879, from Swift-Street.’ Accessed online: <https://trove.nla.gov.au/newspaper/article/223125118?searchTerm=swift%20street%20albury>

¹⁰ *The Albury Banner and Wodonga Express*, 25 October 1879. ‘Albury Borough Council.’ Accessed online: <https://trove.nla.gov.au/newspaper/article/257958838?searchTerm=swift%20street%20albury>

¹¹ *The Albury Banner and Wodonga Express*, 19 July 1879. ‘Albury Borough Council.’ Accessed online: <https://trove.nla.gov.au/newspaper/article/257956902/28721637>

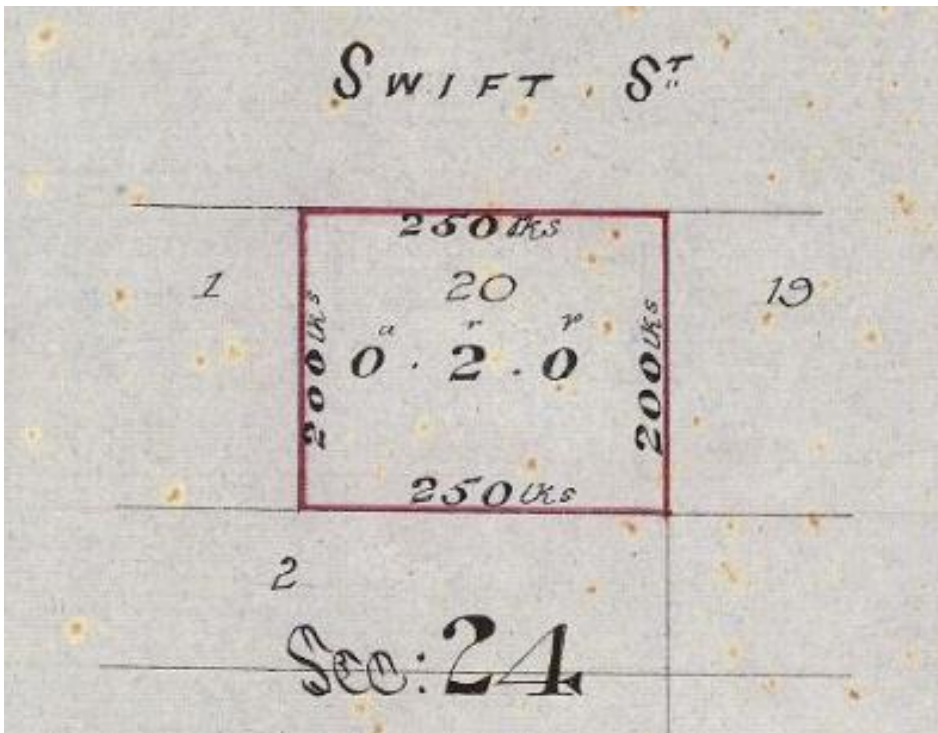


Figure 34 – Land purchased by Kenneth McLennan in 1878

Source: Vol-Fol 330-173

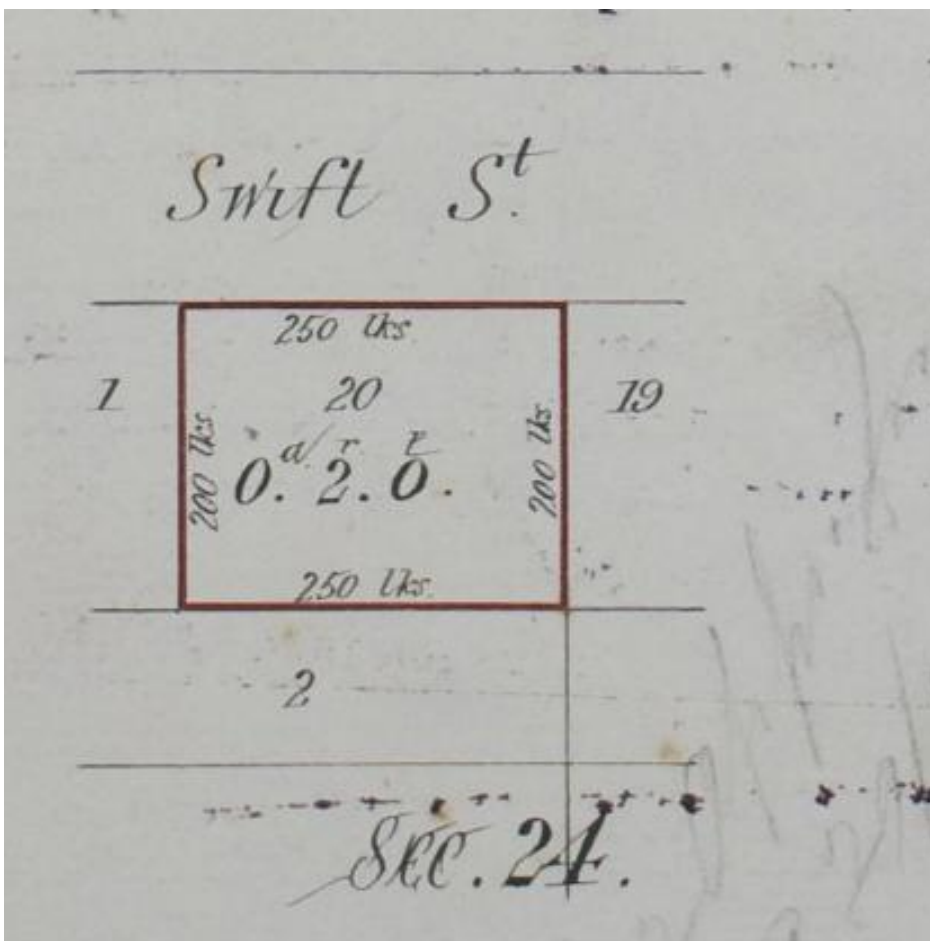


Figure 35 - Land purchased by George Day in 1889

Source: Vol-Fol 918-181

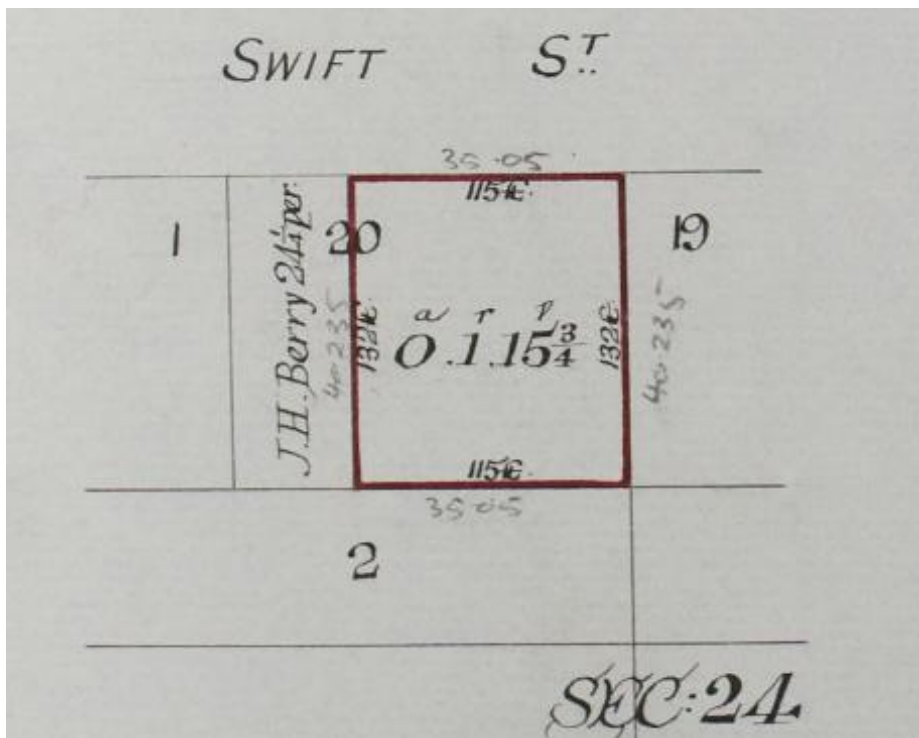


Figure 36 – Lot at 481 Swift Street, Albury purchased by George Day in 1891.

Source: Vol-Fol 1031-28

George Day was a prominent Albury figure who served as Mayor and later as member for Hume within the NSW Parliament. A profile of George Day is provided in the September edition of the *Evening News*:

Day, George, Esq. (Albury).

*Mr. Day's is a well-known face in the Assembly as its owner is pretty regular in attendance, and votes consistently with vested interests of all kinds, including those in land. He was once a miller in a large way at Albury, and is now a stock and station agent, respected and trusted by all who have had business with him. As a politician, his constituents retain their confidence in him at present, which is more than those who would wish to see useful legislation accomplished for the country are likely to do.*¹²

Another biography notes Day's overall political views and work within Parliament:

Mr George Day has always represented the border constituency and is largely interested in the development of the border city Albury. We do not remember his ever undergoing any political evolution; he is the same in Parliament now as he was 10 years ago and as we think he ever will be. If anything, land questions are his forte, and the monotony of his tone makes it appear that every speech he delivers is the same as the last.

A moderate protectionist, believing in reciprocity or fairtrade, and strongly opposed to the state of affairs now prevailing on the Murray border. In favor of a progressive land tax, and strongly condemns the proposal to grant squatters compensation for improvements at the termination of their leases; urges the necessity for retrenchment in all departments of the Government service. Approves of the introduction of a system of local government. Believes the removal of

¹² *Evening News*, 11 September 1886. 'Day, George, Esq. (Albury).' Accessed online: <https://trove.nla.gov.au/newspaper/article/107315415?searchTerm=george%20day%20albury>

*the railways from political control will prevent extravagance. Advocates an extensive scheme of water conservation.*¹³

Day passed in July 1906 and received extensive eulogies within newspapers throughout New South Wales. *The Sydney Mail and New South Wales Advertiser* summarised Day's career as such:

*For many years, dating from his early manhood, he followed pastoral pursuits in the south-eastern part of the colony, of which Albury is the centre, and, becoming in consequence well known in that great district by the squatting interests (which were continuously imperilled by class legislation in respect to Crown lands) he soon achieved a representative public character. Educated at Windsor and at Richmond, a magistrate at 36 years of age, Mayor of Albury for the three years 1867-8-9, he entered the eighth Parliament as member for The Hume, the date of election being December 29, 1874, and sat until the dissolution of the House. Re-elected for the same electorate to the ninth Parliament on November 5, 1877, he again sat throughout its three sessions. In the tenth, the eleventh, the twelfth, and the thirteenth Parliaments he represented the constituency of Albury, and was appointed, on his defeat, and in consideration of his services and loyalty to party, to a seat in the Legislative Council.*¹⁴

While Day owned the site on Swift Street, his home was a grand Victorian dwelling located on Dean Street and there is no historical record of Dean developing the site at Swift Street.



Figure 37 – George Day's home on Dean Street, n.d.

Source: *Albury & District Historical Society*, accessed online: <https://alburyhistory.org.au/george-day-home-dean-st-albury/>

¹³ *The Daily Telegraph*, 17 Feb 1887. 'Albury'. Accessed online:

<https://trove.nla.gov.au/newspaper/article/236754792?searchTerm=george%20day%20albury>

¹⁴ *The Sydney Mail and New South Wales Advertiser*, 18 July 1906. 'Mr George Day.' Accessed online:

<https://trove.nla.gov.au/newspaper/article/163685825?searchTerm=george%20day%20albury>

3.3.1. 481 and 485 Swift Street

3.3.1.1. George and William Day

Moving to Albury in c.1870, William Day purchased the estate 'Waterview' which was located on Howlong Road. By 1879 it appears that Day had put the property on the market however and was relocating.¹⁵ It appears that Day declared bankruptcy in 1901.

Following George Day's passing in 1906, 481-485 Swift Street were transferred to his younger brother William Day, another Albury resident:

Probate has been granted in respect to the will of the Hon. George Day, M.L.C., who died at his residence, the Boulevard, Lewisham on July 13 last. By his last will, which was executed on September 19, 1905... he bequeathed certain property at Albury to his brother, William, and the residue of his real and the whole of personal estate to his trustees.¹⁶

At this time the Swift Street property was transferred to William Day, who owned the land for two years. In 1909 William Day passed and his estate was discussed in the *Government Gazette of the State of New South Wales*:

In the will of William Day, late of Albury, in the State of New South Wales, stock dealer, deceased.

Notice is hereby given that all creditors and other persons having any claim upon the estate of the abovenamed deceased, who died at Albury on the 7th day of September, 1909, and probate of whose will was granted by the Supreme Court of New South Wales, in its Probate Jurisdiction, on the 14th day of October, 1909, to Elizabeth Mary Day, of Albury, widow, and Reginald Joseph Day, of the same place, painter, the executrix and executor named in the said will, are hereby required to send in full particulars of their claims to the said executrix and executor, care of the undersigned proctor, on or before the 30th day of December next.¹⁷

William Day's funeral was held on the 8th of September 1909 and was recorded as leaving from "his late residence, Swift Street, Albury at 3:30 today for the Albury cemetery."¹⁸ This newspaper article confirms that the extant residence at 481 Swift Street was constructed by 1909 and was likely constructed prior to William Day's occupation of the site. The property was inherited by William's wife and his son Reginald.

3.3.1.2. Saad Abikhair

In 1926 the subject site was purchased by Saad Abikhair, a local shopowner who developed one of Albury's most prominent and long-running stores.

Saad Abikhair was born in Chouier, Mt Lebanon in c.1867 and arrived in New South Wales with two of his cousins in 1889. It is believed that they initially joined other members of Sydney's Lebanese community who set them up as hawkers with horse, cart and goods to sell, including small items such as drapery and Manchester. The family moved to Albury shortly after arrival, starting a business selling clothing. In 1896 Saad had opened a drapery store in Central Albury with his cousin Betro. By 1898 a horse brand was registered in Saad's name in the *Government Gazette* and Abikhair also received a hawkers license from the local Council in 1900. By 1904 Abikhair had a new shopfront on Townsend Street. In 1902 Saad had married Shefia, a Lebanese migrant also from Chouier and together they had four children, including Thelma and Walter, who were each involved in the management of the store once adults. In 1907 the store was moved to 550 Olive Street, known as 'The Federal Store'. With Federation quite recent at the time, Betro also built 'The Australian Building' at the southeast corner of David and Dean Streets, however this may have also been motivated by attempts to appeal to patriotism in a time where the family were likely some of the only

¹⁵ *The Albury Banner and Wodonga Express*, 12 April 1879. 'Advertising.' Accessed online:

<https://trove.nla.gov.au/newspaper/article/257955152?searchTerm=%22waterview%22%20albury%20howlong%20road>

¹⁶ *The Albury Banner and Wodonga Express*, 24 August 1906. 'Late Hon. George Day's Will.' Accessed online:

<https://trove.nla.gov.au/newspaper/article/100683808?searchTerm=%22william%20day%22%20albury>

¹⁷ *Government Gazette of the State of New South Wales*, 24 Nov 1909. 'Probate Jurisdiction.' Accessed online:

<https://trove.nla.gov.au/newspaper/article/226591133?searchTerm=%22william%20day%22%20albury>

¹⁸ *The Border Morning Mail and Riverina Times*, 8 September 1909. 'Family Notices'. Accessed online:

<https://trove.nla.gov.au/newspaper/article/109790169?searchTerm=%22william%20day%22%20albury>

Lebanese people in the Albury district. By 1928 the Abikhair store found a permanent home at the corner of Olive and Swift Streets. This was characterised by a grand Federation corner shopfront and awning with 'S.M. Abikhair, General Draper, Boots and Shoes' printed across the awning fascia. The shop is still extant and less than 200m from the subject site. A profile of the Abikhair family states that the family resided at 485 Swift Street.

While the Abikhair's purchased the existing dwelling at 481 Swift Street it does not appear that this property was owner-occupied by them, with it leased out to residential tenants or businesses. The store was operated by Walter until the mid-1990s, when he gradually began to close down the store while in his '90s. The store was of such importance to the Albury community that much of its collection – including historic clothing, accessories and advertisements – were purchased by the local Council with an exhibition 'Emporium' held in the local museum.

In 1929 the family constructed a residence at 485 Swift Street,¹⁹ which is the existing California Bungalow dwelling at the site known as Abikhair House. The earlier dwelling appears to have been leased out to residential and commercial tenants.



Figure 38 – The Abikhair Emporium

Source: Albury City Council

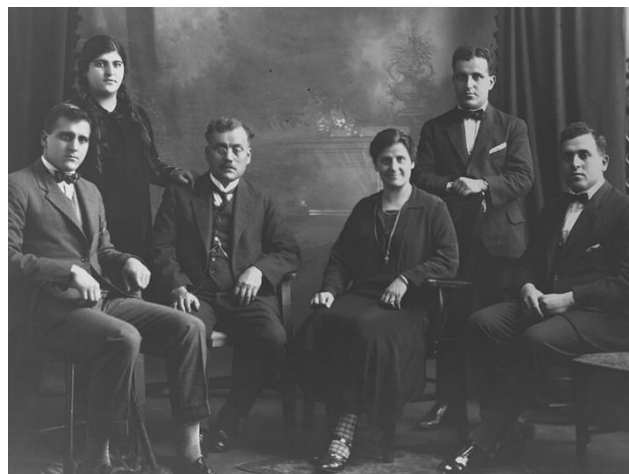


Figure 39 – The Abikhair Family

Source: Albury City Council



Figure 40 – Shopfront of the Emporium

Source: Riparian Albury



Figure 41 - Hat display in the Emporium

Source: Riparian Albury

¹⁹ Albury Heritage Study, Inventory No. 172

In 1931 the resident of 481 Swift Street was Mr John. Miller, who recorded his testimony for Doan's medicine within *The Albury Banner and Wodonga Express*, with the medicine curing a backache.²⁰

Throughout the 1940s 481 Swift Street housed the practice of Mr R.W. Tonkin, a "professional masseur." Tonkin's experience and specialisation were outlined in an article from 1941:

15 years' hospital experience: late Masseur to Mooroopna Hospital, 7 years. All cases of Rheumatoid Arthritis, Neumaritis, Sciatica and all external aches and pains treated: also all cases of Paralysis. Make appointment at 481 Swift Street, Albury (next door to Riverina Hauliers).²¹

Tonkin received positive reviews in 1942 editions of the *Border Morning Mail*, detailing Tonkin's successful repair of a knee injury.²²

In 1947 a notice was placed in the *Border Morning Mail* stating that "Mr. R. W. Tonkin Professional Masseur of 481 Swift Street has resumed practice. All joint and muscular troubles treated."²³

3.3.2. 487 Swift Street

Previously forming part of the land owned by Sebastian Schubach the younger, and subsequently George Day, the land which now includes 487 Swift Street was subdivided by George Day in 1891. This comprised a 24 ¼ perches land parcel which was purchased by local builder J.H. Berry. The existing dwelling, a weatherboard cottage, was established by Berry c.1890, who retained ownership for the next 40 years, although it is uncertain if he resided in the property. Little is known about Berry, however he was involved in an Albury District Court dispute involving stolen bricks. The newspaper article included a brief biography of Berry, noting that he had been a building contractor in Albury for 20 years.²⁴

The property was subsequently sold on to Bessie Perrer in 1931. In 1937 the property was again sold to Henry Adams before it was purchased by Shefia Abikhair in 1954, bringing the three dwellings under the ownership of the Abikhair's. There is little information about the property however it has experienced some modification over time.

²⁰ *The Albury Banner and Wodonga Express*, 23 October 1931. 'Advertising.' Accessed online:

<https://trove.nla.gov.au/newspaper/article/102284976?searchTerm=%22481%20swift%20street%22%20albury>

²¹ *Border Morning Mail*, 26 December 1941. 'Advertising.' Accessed online:

<https://trove.nla.gov.au/newspaper/article/255084304?searchTerm=%22481%20swift%20street%22%20albury>

²² *Border Morning Mail*, 23 October 1942. 'Advertising.' Accessed online:

<https://trove.nla.gov.au/newspaper/article/254891631?searchTerm=%22481%20swift%20street%22%20albury>

²³ *Border Morning Mail*, 16 September 1947. 'Advertising.' Accessed online:

<https://trove.nla.gov.au/newspaper/article/263548296?searchTerm=%22481%20swift%20street%22%20albury>

²⁴ *The Albury Banner and Wodonga Express*, 21 Feb 1908. 'Albury District Court.' Accessed online:

<https://trove.nla.gov.au/newspaper/article/100769364?searchTerm=%22john%20berry%22%20albury%20builder>

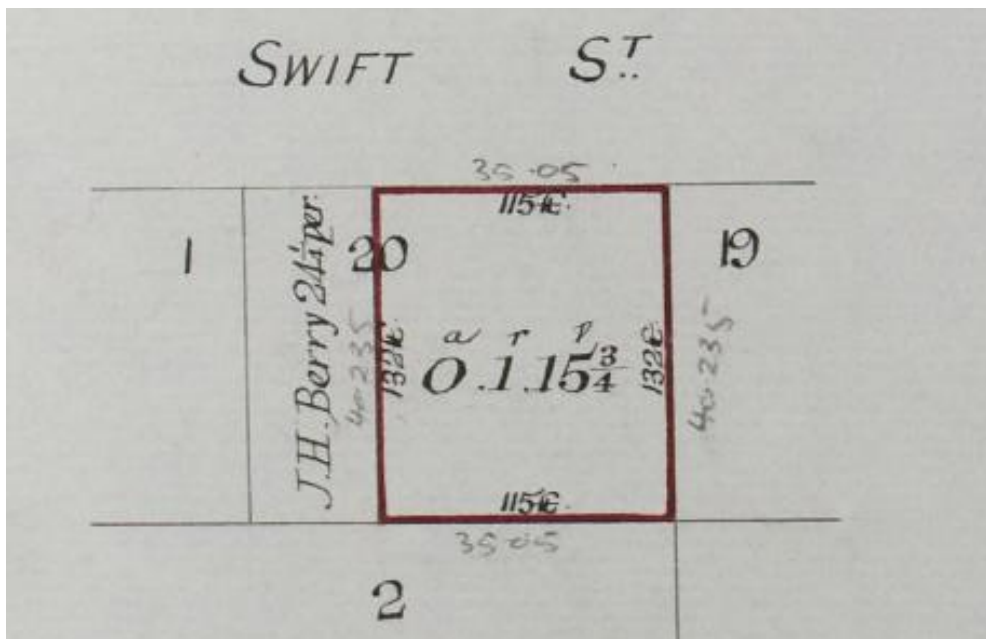


Figure 42 – Lots at 481-7 Swift Street, Albury purchased by George Day in 1891.

Source: Vol-Fol 1031-28

3.3.3. Recorded Alterations and Additions

- In 2007 a Development Application was lodged for the Change of Use of 485 Swift Street to a Commercial Premises (DA 10.2007.27567.1).
- In 2007 a Development Application was lodged by Phil Wilkins Building Design Pty Ltd for 485 Swift Street, including internal alterations, ramp and carparking (DA 11.2007.27567.1).
- In 2010 an application was lodged by Allan Abikhair to install commercial signage at 485 Swift Street, Albury (DA 10.2010.30339.1). Construction Certificate was approved (11.2010.30339.1).
- In 2013 a Development Application was lodged by Phil Wilkins Building Design Pty Ltd for the demolition of 481 and 485 Swift Street, Albury, and associated temporary works and materials compound. This application was approved (10.2013.32482.1) however never acted upon.
- In 2013 a Development Application was lodged by Phil Wilkins Building Design Pty Ltd for the demolition of 487 Swift Street, Albury. This application was approved (DA 10.2013.32527.1) however never acted upon.

3.3.4. Property Owners

Table 2 – Records of Land Ownership within the subject site

Date	Owner	Reference
481 and 485 Swift Street, Albury		
24 November 1877	Sebastian Schubach the youngest	Vol-Fol 322-235
1878	Kenneth McLennan	Vol-Fol 330-173
1881	Moses Bell	Vol-Fol 330-173
1889	George Day	Vol-Fol 918-181

Date	Owner	Reference
1891	George Day	Vol-Fol 1031-28
1907	William Day	Vol-Fol 1031-28
1926	Saad Abikhair, Draper	Vol-Fol 1031-28
1980	Thelma Abikhair	Vol-Fol 1031-28
Unknown	Phil Wilkins	Development Application
2021	Current owner	
487 Swift Street, Albury		
24 November 1877	Sebastian Schubach the younger	Vol-Fol 322-235
1878	Kenneth McLennan	Vol-Fol 330-173
1881	Moses Bell	Vol-Fol 330-173
1889	George Day	Vol-Fol 918-181
1891	John Henry Berry	Vol-Fol 1031-159
1931	Bessie Perrin	Vol-Fol 1031-159
1937	Henry Adams	Vol-Fol 1031-159
1954	Shefia Abikhair	Vol-Fol 1031-159
2021	Current owner	

4. COMPARATIVE ANALYSIS

4.1. INTRODUCTION

The following comparative analysis of the subject sites has been informed by an investigation of similar buildings located within the Albury region.

The information contained within the comparative analysis tables below has been gathered from the relevant Heritage Inventory forms, where sites are listed as heritage items, or from relevant online sources, where sites are not listed as heritage items or have since been demolished.

4.2. INTER-WAR CALIFORNIA BUNGALOWS

The below examples included within this Comparative Analysis have been selected based on their geographic and temporal proximity to the subject site, notably the California Bungalow at 485 Swift Street. Preference in this comparative analysis has also been given to structures listed on statutory heritage registers.

House “Fernhurst”

Address	591 David Street, Albury
Date Established	1930
Architect	N/A
Heritage Listing	Albury LEP I20



Source: *RealEstate.com.au*

Statement of Significance

Largely intact building with some minor sympathetic alterations.

Corner Store and House

Address	659 David Street, Albury
Date Established	1920
Architect	N/A
Heritage Listing	Albury LEP I24



Source: *Google Maps*

Statement of Significance

Neighbourhood store.

Houses

Address 586 Englehardt Street, Albury

Date Established 1880-1940

Architect N/A

Heritage Listing Albury LEP I62



Source: Google Maps

Statement of Significance

Relatively intact group of good examples of their kind. Mature gardens and footpath planting. Good relationship with creek, long footpath provides nice texture to street.

Houses

Address 590 Englehardt Street, Albury

Date Established 1880-1940

Architect N/A

Heritage Listing Albury LEP I62



Source: Google Maps

Statement of Significance

Relatively intact group of good examples of their kind. Mature gardens and footpath planting. Good relationship with creek, long footpath provides nice texture to street.

Houses

Address 596 Englehardt Street, Albury

Date Established 1880-1940

Architect N/A

Heritage Listing Albury LEP I62



Source: Google Maps

Statement of Significance

Relatively intact group of good examples of their kind. Mature gardens and footpath planting. Good relationship with creek, long footpath provides nice texture to street.

Houses

Address 623 Griffith Street, Albury

Date Established 1920

Architect N/A

Heritage Listing Albury LEP I65



Source: Google Maps

Statement of Significance

Demonstrates classical effect of close street planting. Reasonably intact streetscape.

Houses

Address 601 Jones Street, Albury

Date Established 1920-

Architect N/A

Heritage Listing Albury LEP I72



Source: RealEstate.com.au

Statement of Significance

Reasonably intact central Albury residential street with excellent remnant street planting.

Houses

Address 603 Jones Street, Albury

Date Established 1920-

Architect N/A

Heritage Listing Albury LEP I72



Source: GoogleMaps

Statement of Significance

Reasonably intact central Albury residential street with excellent remnant street planting.

Houses

Address 605 Jones Street, Albury

Date Established 1920

Architect N/A

Heritage Listing Albury LEP I72



Source: RealEstate.com.au

Statement of Significance

Reasonably intact central Albury residential street with excellent remnant street planting.

House "Hawthorn"

Address 585 Kiewa Street, Albury

Date Established 1923

Architect N/A


Heritage Listing Albury LEP I84



Source: Google Maps

Statement of Significance


Part of corner group. Good example of eclectic architecture. Contributes to streetscape.

House		
Address	612 Kiewa Street, Albury	
Date Established	1920-	
Architect	N/A	
Heritage Listing	Albury LEP I88	
Statement of Significance		<p><i>Residence of Mates Manager, Motor shed is special. Intact garden including two cotton palms at both corners of Kiewa Street frontage.</i></p>

Source: Google Maps

4.3. LATE VICTORIAN/FEDERATION COTTAGES & TIMBER COTTAGES

The below examples included within this Comparative Analysis have been selected based on their geographic and temporal proximity to the subject site, notably the Victorian Cottage at 487 Swift Street. Preference in this comparative analysis has also been given to structures listed on statutory heritage registers.

House		
Address	607-638 Carrington Street, Albury	
Date Established	1890-1920	
Architect	N/A	
Heritage Listing	Albury LEP I6	
Statement of Significance		<p><i>Intact group with no through traffic nicely under-stated kerbing and paving. Group of palm trees at east end, some fences intact.</i></p>

Source: Google Maps

Houses

Address 648 and 652 David Street

Date Established 1900

Architect N/A

Heritage Listing Albury LEP I22



Source: RealEstate.com.au

Statement of Significance

Group of contemporary cottages. Rare simulated stone details on front.

House

Address 655 David Street, Albury

Date Established 1900

Architect N/A

Heritage Listing Albury LEP I23



Source: RealEstate.com.au

Statement of Significance

Links in item I22. Rare simulated stone details on front.

Houses

Address 582-606 Englehardt Street, Albury

Date Established 1880-1940

Architect N/A

Heritage Listing Albury LEP I62



Source: RealEstate.com.au

Statement of Significance

Relatively intact group of good examples of their kind. Mature gardens and footpath planting. Good relationship with creek, long footpath provides nice texture to street.

Houses

Address 597 Griffith Street, Albury

Date Established 1920

Architect N/A

Heritage Listing Albury LEP I65



Source: RealEstate.com.au

Statement of Significance

Demonstrates classical effect of close street planting. Reasonably intact streetscape.

Houses

Address 517 Guinea Street, Albury

Date Established 1919-1922

Architect N/A

Heritage Listing Albury LEP I68



Source: RealEstate.com.au

Statement of Significance

Relatively intact group. Streetscape significance.

House

Address 644 Kiewa Street, Albury

Date Established 1890

Architect N/A

Heritage Listing Albury LEP I90



Source: RealEstate.com.au

Statement of Significance

Aesthetic element contributing to the setting of the Albury High School precinct.

House

Address 559 Wyse Street, Albury

Date Established 1880

Architect N/A

Heritage Listing Albury LEP I201



Source: RealEstate.com.au

Statement of Significance

Good example of simple mid-late Victorian cottage.

House "Beaumont"

Address 600 Beaumont Crescent, Albury

Date Established

Architect

Heritage Listing Albury LEP I5



Source: Google Maps

Statement of Significance

Houses

Address Hanel Street, Albury
509 Hanel Street

Date Established

Architect

Heritage Listing Albury LEP I69



Source: Google Maps

Statement of Significance

Houses

Address 357 Rau Street, Albury

Date Established

Architect

Heritage Listing Albury LEP I130



Source: Google Maps

Statement of Significance

House

Address 449 Douglas Road, Lavington

Date Established 1910

Architect N/A

Heritage Listing Albury LEP I342



Source: Google Maps

Statement of Significance

The building possesses both historical and aesthetic characteristics significant to the Lavington area. The building was constructed in the 1910s and contributes to the streetscape by exhibiting a contrasting architectural style to the surrounding residences.

House "Tumarazani"

Address 595 Heathwood Avenue, Lavington

Date Established 1910

Architect N/A

Heritage Listing Albury LEP I339



Source: Google Maps

Statement of Significance

This item possesses historical, aesthetic and architectural significance. The building is the original homestead of a large agricultural property, once taken up in the Lavington area. The property was eventually subdivided and sold. The building is architecturally significant as it is an example of the style of residence used in the early 1900s, particularly in rural areas. The structure contributes aesthetically to the Heathwood Avenue streetscape

Houses

Address 405-415 David Street, South Albury

Date Established 1880-1920

Architect N/A

Heritage Listing Albury LEP I15



Source: Google Maps

Statement of Significance

Settlement moving north. Scale of broad street with low buildings. Set well back. Streetscape significance.

House “Haberfield”

Address 418 David Street, South Albury

Date Established 1880

Architect NA

Heritage Listing Albury LEP I17



Source: Google Maps

Statement of Significance

Settlement moving from South Albury to Northern Albury following commercial shift.

4.4. DISCUSSION

4.4.1. 485 Swift Street – Inter-War Bungalows

485 Swift Street is an Inter-War California Bungalow established c.1929 by Saad Abikhair. The dwelling, constructed in 1929, is associated with Inter-War growth in Albury, which occurred in the Inter-War period and following Federation. Of the comparative samples above, the majority are noted as having been constructed in c.1920, with the dwelling at 485 Swift Street therefore a relatively late example of the style within the Albury district, having been constructed in 1929.

Of the examples included within this comparative analysis research into their associations with the residents was not conducted as part of this research, we do note the subject site at 485 Swift Street is known to be associated with people or a group of people of interest, with 485 Swift Street built as the residence of the

Abikhair family and associated with their store, the Abikhair Emporium which was approximately 50m away on the corner of Swift Street and Olive Street. However, the dwelling at 485 Swift Street itself does not tangibly demonstrate any association with the Abikhair family in terms of design, the family have provided correspondence that they do not hold any historical regard for the property. The family is significant for their commercial contribution to Albury and this association is more significantly demonstrated on the nearby commercial shop group on the corner of Swift St which was their commercial stores and property.. As such, 485 Swift Street does not demonstrate association with a particular family any more than a typical dwelling.

The dwelling at 485 Swift Street features characteristics typical of the Inter-War California Bungalow style, including low pitched roof and gables, a wide eave overhang, and leadlight glazing features. The dwelling features some variations of traditional elements, such as featuring columns rather than tapered pylons, and a variation of the typical flat top chimney. Other dwellings also present typical elements of the Inter-War California Bungalow style, with some dwellings including elements of the Federation bungalow styles in addition to the typical Inter-War design and form. Internal photographs of many of the examples in this comparative are not available publicly.

Of all examples included in this comparative analysis, 485 Swift Street is the only example of an Inter-War Bungalow within the Albury CBD, with all other examples located in more residential areas. This shows that while 485 Swift Street is located within what is identified as the 'inner city core' in the establishment statement of significance, the inner city ring of housing is primarily late Victorian and Federation in character, with the Inter-War Bungalow therefore not making a substantial contribution to the inner city ring.

There are numerous examples of the Inter-War California Bungalow style dwelling which have not been included within this comparative analysis. As such, Inter-War Bungalows are not rare within the Albury Local Government Area, as there are numerous examples within the vicinity of the Albury CBD adjacent to the core commercial zone.

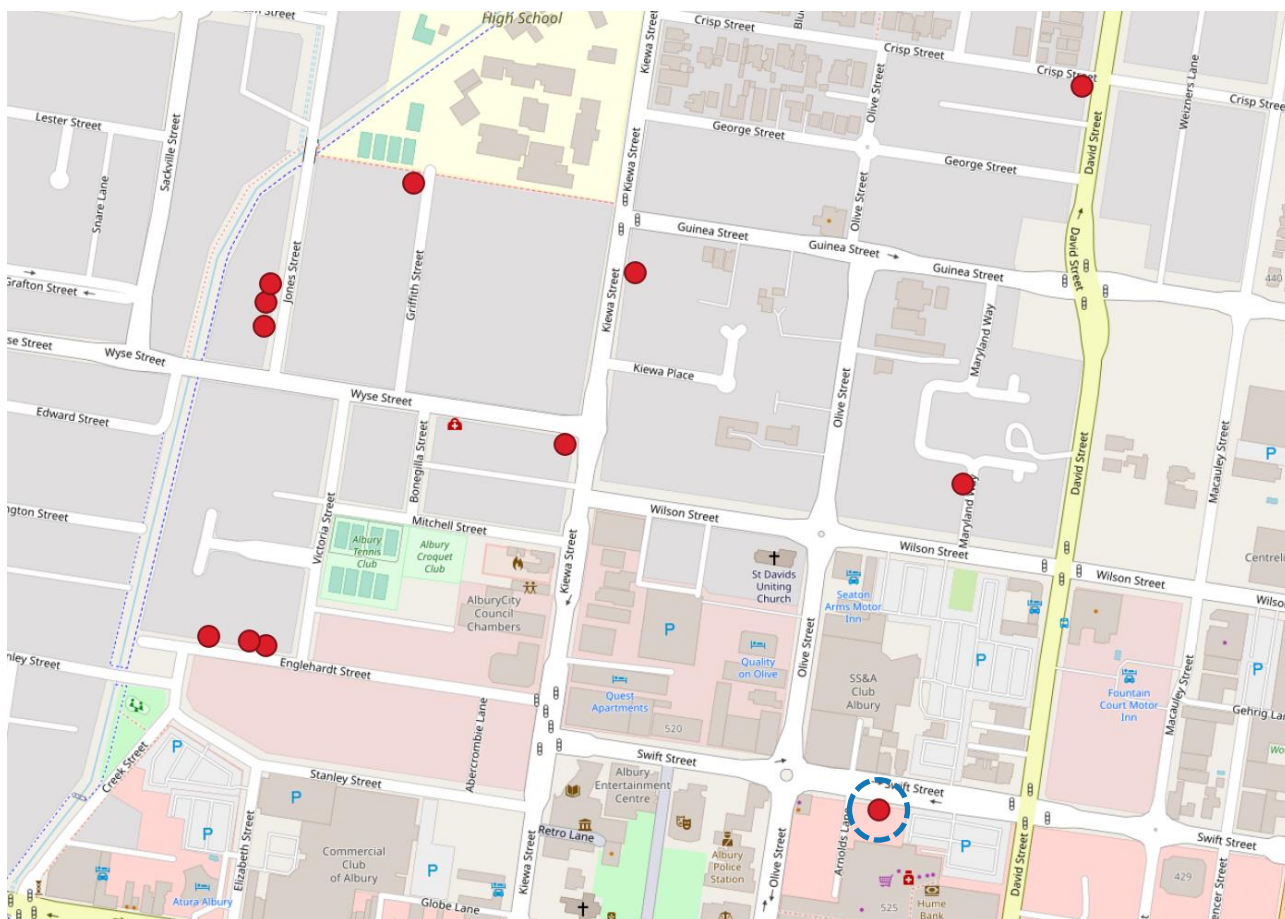


Figure 43 – Spatial distribution of a portion of Inter-War Bungalows included in comparative analysis, with subject site indicated by blue dashed circle.

Source: SixMaps OSM Basemap with Urbis markup

4.4.2. 487 Swift Street – Late Victorian Cottages

487 Swift Street is a late Victorian weatherboard cottage constructed by local builder John Henry Bell in c.1890. The dwelling is associated with a key period of growth in Albury which occurred from the late 1800s to the turn of the century and Federation. Many of the dwellings included in the comparative analysis are contemporaneous to the c.1890 construction date of 487 Swift Street, while some predate the dwelling by approximately 10 years. Other dwellings in this comparative analysis feature similar form and details, however date to the period between 1900-1910 and form part of the Federation period. The dwelling at 487 Swift Street has a loose association with the Abikhair family who purchased the property in the 1950s, however no other comparative examples are known to have any association with people of significance.

The comparative analysis above shows that the majority of buildings of this style are typically constructed of brick regardless of construction date, with few examples constructed of timber or weatherboard. As such, many of the brick examples are in substantially better condition and feature more decorative elements than the timber examples. Examples at 600 Beaumont Crescent, 586 Englehardt Street, and 644 Kiewa Street are considerably more decorative than 487 Swift Street, featuring wrought iron filigree detailing, decorative verandah posts and exposed rafters, original sash windows, and original hardwood front doors. The other examples included in this comparative analysis which are constructed of timber or weatherboard are in good condition, currently occupied as residences and therefore in considerably better condition than 487 Swift Street, Albury.

Comparatively, 487 Swift Street is heavily degraded both structurally and cladding. Due to the structural safety issues and internal inspection was not possible.

Due to the substantial condition issues and loss of original fabric or decorative elements, 487 Swift Street is comparatively a poor example of late Victorian cottages within the Albury district. As above, there are numerous examples of this style of architecture within the LGA and therefore this type of dwelling is not rare.

5. HERITAGE SIGNIFICANCE

5.1. WHAT IS HERITAGE?

Before making decisions to change a heritage item, an item within a heritage conservation area, or an item located in proximity to a heritage listed item, it is important to understand its values and the values of its context. This leads to decisions that will retain these values in the future. Statements of heritage significance summarise the heritage values of a place – why it is important and why a statutory listing was made to protect these values.

5.2. HERITAGE LISTINGS

The subject site comprises three freestanding dwellings (two of which are at 481 Swift Street and one at 487 Swift Street), which are listed on the Albury Local Environmental Plan (LEP) 2010 as:

- *House*, 485 Swift Street, Albury (Item 164)
- *House*, 487 Swift Street, Albury (Item 166)

The subject site is also located within the vicinity of Heritage Conservation Areas and heritage items.



Figure 44 – Heritage context surrounding the subject site (outlined in blue)

Source: Albury LEP 2010 Heritage Map HER_004D

Other heritage items in the vicinity include the following items listed on the Albury LEP 2010:

- *Methodist Church* at 551 Olive Street, Albury, listed as I116
- *Methodist Church Hall* at 559 Olive Street, Albury, listed as I117

- Shops “Abikhair’s” at 558-560 Olive Street, listed as I118
- House at 464 Swift Street, listed as I161
- Terrace Houses at 466-470 Swift Street, listed as I162
- House “Torlochan” at 482 Swift Street, listed as I163
- Funeral Parlour and Residence at 486 Swift Street, listed as I165
- Swift Street Conservation Area, listed as C15
- Dean Street Conservation Area, listed as C6

5.3. THE SUBJECT SITE

5.3.1. 481 Swift Street

5.3.1.1. Significance Assessment

The Heritage Council of NSW has developed a set of seven criteria for assessing heritage significance, which can be used to make decisions about the heritage value of a place or item. There are two levels of heritage significance used in NSW: state and local. The following assessment of heritage significance has been prepared in accordance with the ‘Assessing Heritage Significance’ guides.

Table 3 - Assessment of Heritage Significance

Criteria	Significance Assessment
A – Historical Significance <i>An item is important in the course or pattern of the local area’s cultural or natural history.</i>	<p>481 Swift Street was constructed in c.1890 by an unknown builder, likely for the Day family. The dwelling is a Victorian brick cottage which was constructed following subdivision of the Schubach family’s township land grant. The dwelling however is no longer able to demonstrate association with this period of development however due to the poor condition and degradation of the dwelling.</p> <p>Therefore the subject site does not reach the threshold of local significance under this criterion.</p>
<u>Guidelines for Inclusion</u> <ul style="list-style-type: none"> ▪ shows evidence of a significant human activity <input type="checkbox"/> ▪ is associated with a significant activity or historical phase <input type="checkbox"/> ▪ maintains or shows the continuity of a historical process or activity <input type="checkbox"/> 	<u>Guidelines for Exclusion</u> <ul style="list-style-type: none"> ▪ has incidental or unsubstantiated connections with historically important activities or processes <input checked="" type="checkbox"/> ▪ provides evidence of activities or processes that are of dubious historical importance <input checked="" type="checkbox"/> ▪ has been so altered that it can no longer provide evidence of a particular association <input type="checkbox"/>
B – Associative Significance <i>An item has strong or special associations with the life or works of a person, or group of persons, of importance in the local area’s cultural or natural history.</i>	<p>The subject site was at one time owned by George Day, a local politician and former Mayor of Albury, however Day is not known to have constructed or lived in the dwelling. The dwelling was at one time lived in by Day’s younger brother William Day, however William is little known and had not made a substantial contribution to the local area of Albury.</p>

	Therefore, the subject site does not reach the threshold of local significance under this criterion.
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> shows evidence of a significant human occupation <input type="checkbox"/> is associated with a significant event, person, or group of persons <input checked="" type="checkbox"/> 	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> has incidental or unsubstantiated connections with historically important people or events <input checked="" type="checkbox"/> provides evidence of people or events that are of dubious historical importance <input checked="" type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association <input type="checkbox"/>
<p>C – Aesthetic Significance</p> <p><i>An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.</i></p>	<p>The subject site is a typical example of a simple Victorian brick cottage with little architectural interest, detail, or decorative elements as would be seen at other examples of Victorian cottages, including those directly opposite the road on Swift Street. The dwelling was built and designed by an unknown architect/builder and is not aesthetically distinctive, being a typical example of a common typology of cottages. Further, the dwelling has experienced extensive degradation.</p> <p>Therefore, the subject site does not reach the threshold of local significance.</p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input type="checkbox"/> is aesthetically distinctive <input type="checkbox"/> has landmark qualities <input type="checkbox"/> exemplifies a particular taste, style or technology <input type="checkbox"/> 	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> is not a major work by an important designer or artist <input checked="" type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement <input checked="" type="checkbox"/>
<p>D – Social Significance</p> <p><i>An item has strong or special association with a particular community or cultural group in the local area for social, cultural or spiritual reasons.</i></p>	<p>The subject site is not likely to reach the threshold of local significance under this criterion.</p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> is important for its associations with an identifiable group <input type="checkbox"/> is important to a community's sense of place <input type="checkbox"/> 	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative <input checked="" type="checkbox"/>

<p>E – Research Potential</p> <p><i>An item has potential to yield information that will contribute to an understanding of the local area's cultural or natural history.</i></p>	<p>The subject site does not reach the threshold of local significance under this criterion.</p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere <input type="checkbox"/> 	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> the knowledge gained would be irrelevant to research on science, human history or culture <input type="checkbox"/> has little archaeological or research potential <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites <input checked="" type="checkbox"/>
<p>F – Rarity</p> <p><i>An item possesses uncommon, rare or endangered aspects of the local area's cultural or natural history.</i></p>	<p>The subject site is one of numerous Victorian cottages within the Albury LGA and is therefore not rare within the area.</p> <p>The subject site does not reach the threshold of local significance under this criterion.</p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> provides evidence of a defunct custom, way of life or process <input type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> shows unusually accurate evidence of a significant human activity <input type="checkbox"/> is the only example of its type <input type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community <input type="checkbox"/> 	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> is not rare <input checked="" type="checkbox"/> is numerous but under threat <input type="checkbox"/>
<p>G – Representative</p> <p><i>An item is important in demonstrating the principal characteristics of a class of NSWs (or the local area's):</i></p> <ul style="list-style-type: none"> cultural or natural places; or cultural or natural environments. 	<p>The subject site is in poor condition and no longer is a fine example of its type.</p> <p>Therefore, the subject site does not reach the threshold of local significance under this criterion.</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> is a fine example of its type <input type="checkbox"/> 	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> is a poor example of its type <input checked="" type="checkbox"/>

<ul style="list-style-type: none"> ▪ has the principal characteristics of an important class or group of items <input type="checkbox"/> ▪ has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input type="checkbox"/> ▪ is a significant variation to a class of items <input type="checkbox"/> ▪ is part of a group which collectively illustrates a representative type <input type="checkbox"/> ▪ is outstanding because of its setting, condition or size <input type="checkbox"/> ▪ is outstanding because of its integrity or the esteem in which it is held <input type="checkbox"/> 	<ul style="list-style-type: none"> ▪ does not include or has lost the range of characteristics of a type <input type="checkbox"/> ▪ does not represent well the characteristics that make up a significant variation of a type <input checked="" type="checkbox"/>
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5.3.1.2. Statement of Significance

The dwelling at 481 Swift Street, Albury was constructed in c.1890 following the subdivision of the town land grant dedicated to Sebastian Schubach. The dwelling was potentially constructed for the former Mayor and local politician George Day, however is not known to have been lived in by George Day. It was later the residence of his younger brother William Day, who is of little historical importance within the Albury LGA. The dwelling is a relatively poor example of a Victorian cottage, retaining little detail of architectural interest and few decorative features. The dwelling is not rare, being one of many Victorian cottages of this typology within the Albury LGA.

5.3.2. 485 Swift Street (I164)

5.3.2.1. Significance Assessment

The Heritage Council of NSW has developed a set of seven criteria for assessing heritage significance, which can be used to make decisions about the heritage value of a place or item. There are two levels of heritage significance used in NSW: state and local. The following assessment of heritage significance has been prepared in accordance with the 'Assessing Heritage Significance' guides.

Table 4 - Assessment of Heritage Significance

Criteria	Significance Assessment
<p>A – Historical Significance</p> <p><i>An item is important in the course or pattern of the local area's cultural or natural history.</i></p> <p><u>Guidelines for Inclusion</u></p>	<p>485 Swift Street was constructed in c.1929 and is associated with growing Inter-War development in the Albury region. This is not the key period of development within the Albury CBD area however, with the key period of historical subdivision and development occurring in the late 1800s and in the early Federation period. The dwelling is not associated with any significant historical subdivisions nor event.</p> <p>Therefore the subject site does not reach the threshold of local significance under this criterion.</p> <p><u>Guidelines for Exclusion</u></p>

<ul style="list-style-type: none"> ▪ shows evidence of a significant human activity <input type="checkbox"/> ▪ is associated with a significant activity or historical phase <input type="checkbox"/> ▪ maintains or shows the continuity of a historical process or activity <input type="checkbox"/> 	<ul style="list-style-type: none"> ▪ has incidental or unsubstantiated connections with historically important activities or processes <input checked="" type="checkbox"/> ▪ provides evidence of activities or processes that are of dubious historical importance <input checked="" type="checkbox"/> ▪ has been so altered that it can no longer provide evidence of a particular association <input type="checkbox"/>
<p>B – Associative Significance</p> <p><i>An item has strong or special associations with the life or works of a person, or group of persons, of importance in the local area's cultural or natural history.</i></p>	<p>The subject site is associated with the Abikhair Family, who constructed the dwelling in 1929 and occupied the dwelling for subsequent decades, with the property approximately 50m from the family's store, the Abikhair Emporium. The Abikhair family were Lebanese migrants within the Albury community and were entrepreneurial, establishing their Emporium store which operated in Albury until 1993. The dwelling however does not demonstrate a tangible connection to the Abikhair family, beyond the extant signage noting 'Abikhair House' which was installed in the mid-2000s. The form, design, and fabric is relatively typical of the architectural style and does not demonstrate connection to the family more than any other dwelling. The descendants of the Abikhair family have advised the current owner there is no associative significance for them and the property purely provided amenity and therefore why they sold the property.</p> <p>Therefore, the subject site does not reach the threshold of local significance under this criterion.</p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> ▪ shows evidence of a significant human occupation <input type="checkbox"/> ▪ is associated with a significant event, person, or group of persons <input type="checkbox"/> 	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> ▪ has incidental or unsubstantiated connections with historically important people or events <input type="checkbox"/> ▪ provides evidence of people or events that are of dubious historical importance <input checked="" type="checkbox"/> ▪ has been so altered that it can no longer provide evidence of a particular association <input type="checkbox"/>
<p>C – Aesthetic Significance</p> <p><i>An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.</i></p>	<p>The subject site demonstrates typical features of the Inter-War California Bungalow architectural style, including pitched gables and overall Bungalow form. The dwelling internally features some decorative internal details such as decorative plaster ceilings and timber joinery details. The dwelling has experienced some modification however such as the removal of the original front door reveal and joinery. The dwelling is further missing notable features of the Bungalow style such as tapered pylons, stucco, and timber detailing, however,</p>

	<p>features interesting features such as tapered columns on the verandah and kookaburra finials.</p> <p>The setting of the dwelling has been eroded over time by contemporary development, which has altered the original historic configuration and character of Swift Street.</p> <p>Therefore, the subject site does not reach the threshold of local significance.</p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input type="checkbox"/> is aesthetically distinctive <input type="checkbox"/> has landmark qualities <input type="checkbox"/> exemplifies a particular taste, style or technology <input type="checkbox"/> 	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> is not a major work by an important designer or artist <input checked="" type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement <input checked="" type="checkbox"/>
<p>D – Social Significance</p> <p><i>An item has strong or special association with a particular community or cultural group in the local area for social, cultural or spiritual reasons.</i></p>	<p>The property has associations with the Abikhair family. However, this association is not tangibly represented within the fabric of the extant building. We also understand that the Abikhair family have expressed to the current owner that their view is, there is no associative significance and the building only provided amenity for them as original occupants. We are awaiting this communication in writing. Therefore, it is assessed the dwelling does not have social significance as a private dwelling.</p> <p>The subject site does not reach the threshold of local significance under this criterion.</p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> is important for its associations with an identifiable group <input type="checkbox"/> is important to a community's sense of place <input type="checkbox"/> 	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative <input checked="" type="checkbox"/>
<p>E – Research Potential</p> <p><i>An item has potential to yield information that will contribute to an understanding of the local area's cultural or natural history.</i></p>	<p>The subject site does not reach the threshold of local significance under this criterion.</p>

<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere <input type="checkbox"/> 	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> the knowledge gained would be irrelevant to research on science, human history or culture <input type="checkbox"/> has little archaeological or research potential <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites <input checked="" type="checkbox"/>
<p>F – Rarity</p> <p><i>An item possesses uncommon, rare or endangered aspects of the local area's cultural or natural history.</i></p>	<p>The subject site is one of numerous Inter-War California Bungalows within the Albury district and within the vicinity of the Albury CBD and subject site. Many other examples feature more typical elements associated with the Inter-War California Bungalow style.</p> <p>The subject site does not reach the threshold of local significance under this criterion.</p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> provides evidence of a defunct custom, way of life or process <input type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> shows unusually accurate evidence of a significant human activity <input type="checkbox"/> is the only example of its type <input type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community <input type="checkbox"/> 	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> is not rare <input checked="" type="checkbox"/> is numerous but under threat <input type="checkbox"/>
<p>G – Representative</p> <p><i>An item is important in demonstrating the principal characteristics of a class of NSWs (or the local area's):</i></p> <ul style="list-style-type: none"> <i>cultural or natural places; or</i> <i>cultural or natural environments.</i> 	<p>The subject site demonstrates some elements of the Inter-War California Bungalow style, however is missing several key elements of the style and has experienced some minor modification and degradation of the front elevation. The subject site features some internal decoration including decorative plaster ceilings and timber joinery, however, is not a particularly fine example of its type.</p> <p>Therefore, the subject site does not reach the threshold of local significance under this criterion as an individual item.</p>
<p>Guidelines for Inclusion</p>	<p><u>Guidelines for Exclusion</u></p>

<ul style="list-style-type: none"> ▪ is a fine example of its type <input type="checkbox"/> ▪ has the principal characteristics of an important class or group of items <input type="checkbox"/> ▪ has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input type="checkbox"/> ▪ is a significant variation to a class of items <input type="checkbox"/> ▪ is part of a group which collectively illustrates a representative type <input type="checkbox"/> ▪ is outstanding because of its setting, condition or size <input type="checkbox"/> ▪ is outstanding because of its integrity or the esteem in which it is held <input type="checkbox"/> 	<ul style="list-style-type: none"> ▪ is a poor example of its type <input type="checkbox"/> ▪ does not include or has lost the range of characteristics of a type <input type="checkbox"/> ▪ does not represent well the characteristics that make up a significant variation of a type <input checked="" type="checkbox"/>
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5.3.2.2. Established Statement of Significance

The following Statement of Significance has been extracted from the State Heritage Inventory listing:

Unusual design part of inner ring of housing around retail core.

5.3.2.3. Revised Statement of Significance

485 Swift Street Albury was constructed c.1929 for the Abikhair family, an entrepreneurial family of Lebanese migrants to Albury who operated the nearby store the Abikhair Emporium for approximately 90 years. We also understand that the Abikhair family have expressed to the current owner that their view is, there is no associative significance and the building only provided amenity for them as original occupants. The dwelling however is not associated with the key period of historical development in the Albury district and is not a particularly fine example of the Inter-War Bungalow style. The dwelling is not rare, being one of several examples of this style of architecture within the Albury CBD and surrounds and is in a developed setting which has eroded the setting of the dwelling.

5.3.3. 487 Swift Street (I166)

5.3.3.1. Significance Assessment

The Heritage Council of NSW has developed a set of seven criteria for assessing heritage significance, which can be used to make decisions about the heritage value of a place or item. There are two levels of heritage significance used in NSW: state and local. The following assessment of heritage significance has been prepared in accordance with the 'Assessing Heritage Significance' guides.

Table 5 - Assessment of Heritage Significance

Criteria	Significance Assessment
<p>A – Historical Significance</p> <p><i>An item is important in the course or pattern of the local area's cultural or natural history.</i></p>	<p>The dwelling at 487 Swift Street was constructed in c.1890 as the result of the larger subdivision of a town land grant originally granted to Sebastian Schubach the younger. The dwelling is a late example of Victorian architecture within the inner city core and therefore does not substantially contribute to this group of dwellings. Furthermore, it is so degraded that is no longer a fine</p>

	<p>example of a Victorian cottage or demonstrates evidence of late 1800s development in Albury.</p> <p>Therefore, the subject site does not reach the threshold of local significance under this criterion.</p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> shows evidence of a significant human activity <input type="checkbox"/> is associated with a significant activity or historical phase <input type="checkbox"/> maintains or shows the continuity of a historical process or activity <input type="checkbox"/> 	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> has incidental or unsubstantiated connections with historically important activities or processes <input checked="" type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input checked="" type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association <input type="checkbox"/>
<p>B – Associative Significance</p> <p><i>An item has strong or special associations with the life or works of a person, or group of persons, of importance in the local area's cultural or natural history.</i></p> <p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> shows evidence of a significant human occupation <input type="checkbox"/> is associated with a significant event, person, or group of persons <input type="checkbox"/> 	<p>The subject site is not known to be associated with any persons or groups of significance. The property was first constructed by local builder John Henry Bell, who is of dubious historical significance. The property was later purchased by the Abikhair family in the 1950s, however the association with the Abikhair family is not demonstrated tangibly not did they occupy the property.</p> <p>Therefore, the subject site does not reach the threshold of local significance under this criterion.</p> <p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> has incidental or unsubstantiated connections with historically important people or events <input checked="" type="checkbox"/> provides evidence of people or events that are of dubious historical importance <input checked="" type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association <input type="checkbox"/>
<p>C – Aesthetic Significance</p> <p><i>An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.</i></p> <p><u>Guidelines for Inclusion</u></p>	<p>The subject site demonstrates some characteristics of a typical Victorian workers cottage, notably the overall form, weatherboard cladding and verandah with some filigree wrought iron detailing. The dwelling continues to demonstrate the modest architectural style and detailing of workers cottages, however the dwelling is in very poor condition and therefore its overall aesthetic significance and contribution to the streetscape has been degraded beyond repair.</p> <p>Therefore, the subject site does not reach the threshold of local significance under this criterion.</p> <p><u>Guidelines for Exclusion</u></p>

<ul style="list-style-type: none"> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input type="checkbox"/> is aesthetically distinctive <input type="checkbox"/> has landmark qualities <input type="checkbox"/> exemplifies a particular taste, style or technology <input type="checkbox"/> 	<ul style="list-style-type: none"> is not a major work by an important designer or artist <input checked="" type="checkbox"/> has lost its design or technical integrity <input checked="" type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement <input type="checkbox"/>
D – Social Significance <i>An item has strong or special association with a particular community or cultural group in the local area for social, cultural or spiritual reasons.</i>	The subject site is not anticipated to reach the threshold of local significance under this criterion.
<u>Guidelines for Inclusion</u> <ul style="list-style-type: none"> is important for its associations with an identifiable group <input type="checkbox"/> is important to a community's sense of place <input type="checkbox"/> 	<u>Guidelines for Exclusion</u> <ul style="list-style-type: none"> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative <input type="checkbox"/>
E – Research Potential <i>An item has potential to yield information that will contribute to an understanding of the local area's cultural or natural history.</i>	The subject site is not anticipated to reach the threshold of local significance under this criterion.
<u>Guidelines for Inclusion</u> <ul style="list-style-type: none"> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere <input type="checkbox"/> 	<u>Guidelines for Exclusion</u> <ul style="list-style-type: none"> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites <input type="checkbox"/>
F – Rarity <i>An item possesses uncommon, rare or endangered aspects of the local area's cultural or natural history.</i>	The subject site is one of many examples of Victorian and early Federation cottages within the Albury LGA and CBD, including Swift Street, and is therefore not rare. Therefore, the subject site does not reach the threshold of local significance under this criterion.
<u>Guidelines for Inclusion</u>	<u>Guidelines for Exclusion</u> <ul style="list-style-type: none"> is not rare <input checked="" type="checkbox"/>

<ul style="list-style-type: none"> provides evidence of a defunct custom, way of life or process <input type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> shows unusually accurate evidence of a significant human activity <input type="checkbox"/> is the only example of its type <input type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community <input type="checkbox"/> 	<ul style="list-style-type: none"> is numerous but under threat <input type="checkbox"/>
<p>G – Representative</p> <p><i>An item is important in demonstrating the principal characteristics of a class of NSWs (or the local area's):</i></p> <ul style="list-style-type: none"> cultural or natural places; or cultural or natural environments. 	<p>The subject site is a relatively simple and modest example of a Victorian cottage. As above, the dwelling is in poor condition and is now a poor example of its type due to this.</p> <p>Therefore, the subject site does not reach the threshold of local significance.</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> is a fine example of its type <input type="checkbox"/> has the principal characteristics of an important class or group of items <input type="checkbox"/> has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input type="checkbox"/> is a significant variation to a class of items <input type="checkbox"/> is part of a group which collectively illustrates a representative type <input type="checkbox"/> is outstanding because of its setting, condition or size <input type="checkbox"/> is outstanding because of its integrity or the esteem in which it is held <input type="checkbox"/> 	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> is a poor example of its type <input checked="" type="checkbox"/> does not include or has lost the range of characteristics of a type <input type="checkbox"/> does not represent well the characteristics that make up a significant variation of a type <input checked="" type="checkbox"/>

5.3.3.2. Established Statement of Significance

The following Statement of Significance has been extracted from the State Heritage Inventory listing:

Relates to the Swift Street group in that it forms part of the inner ring of housing around the retail core.

5.3.3.3. Revised Statement of Significance

487 Swift Street is a late example of Victorian architecture within the Albury CBD area constructed c.1890 by local builder John Bell.. The building is not associated with any person of significance, nor would it have social significance to any particular groups or the broader community. The dwelling is a fairly typical weatherboard Victorian cottage however it is very simple in form, with few decorative elements, and furthermore is in extremely poor condition, rendering the dwellings contribution the historical character of Albury diminished in significance without extensive structural and non structural remediation and replacement work. Furthermore, the dwelling is not rare within the Albury LGA and is not a fine example of its type, therefore holding no representative value. The dwelling therefore does not reach the threshold of local significance.

5.3.4. Review of Existing Heritage Listings

Based on the above comparative analysis and significance assessment, Urbis provide the following summary of the significance of the subject site.

- The subject site comprises three individual dwellings, two of which are heritage listed and of alternate periods as discussed further below. These do not form part of a row or wider conservation area. The setting of the site is heavily eroded in comparison to other heritage items and conservation areas in the vicinity, whilst the individual sites feature yards with no significant or contributory landscaping and do not make a substantial streetscape contribution. The subject site is also situated adjacent to highly contemporary built form to the rear, including utilitarian carparking and the Albury Central shopping centre which has diminished the historic visual context of the subject site.
- 481 Swift Street (not currently locally heritage listed) does not reach the threshold of local significance .
- The subject dwelling at 485 Swift St (*Albury LEP 2010* I164) is an Inter -War California Bungalow identified by Council as having local significance. Urbis' further historical research, site investigation (including interiors), comparative analysis, and significance assessment has determined that the dwelling at 485 Swift Street does not reach the threshold of local significance level for the following reasons:
 - The existing statement of significance prepared by Council states that 485 Swift Street contributes to the key period of development and significance of the inner-city residential ring, which is the Victorian and early Federation period of subdivision and development. As an Inter-War building, 485 Swift Street is not associated with this key period of development and does not reach the threshold of significance under this criterion, as outlined in more detail at Section 5.3.2. The dwelling does not reach the threshold of local significance under any other criterion.
 - 485 Swift Street was built by and resided in by the Abikhair family, owners of the nearby Abikhair Emporium. The Abikhair's Emporium building to the west on Swift St represents the contribution of the family to the development of Albury in a more tangible and significant manner, as the family are associated with economic activity. Further, the Abikhair Family have provided written confirmation that the dwelling is not of any associative or social significance to their family.
 - Section 4.2 of this HIS includes a thorough comparative analysis of Inter-War Bungalows within Albury. This comparative analysis demonstrated that there are numerous examples of Inter-War Bungalows of equivalent significance and aesthetic contribution within Albury and its surrounding suburbs. As such, the dwelling is not rare in quantity or able to demonstrate qualities not seen in the other examples of Inter-War Bungalows. As above, the subject site at 485 Swift Street located within an eroded setting and under additional pressures to meet housing and infrastructure demands due to its location in the CBD. The other examples are in residential areas within the inner suburbs of Albury surrounded by other residential scale properties and located within a contributory context and setting. Many of these examples are situated in rows of Inter-War Bungalows which form a consistent streetscape character and demonstrate the outwards expansion of housing development in Albury within the Inter-War period. For these reasons, demolition of the structure is considered justifiable and acceptable from a heritage perspective.
- The subject dwelling at 487 Swift Street (*Albury LEP 2010* I166) may have previously reached the threshold of local significance however is so significantly deteriorated and in a state of disrepair that to be habitable would require complete reconstruction. Therefore, it can no longer demonstrate the key elements of its significance. Further historical research, site investigation, comparative analysis and significance assessment by Urbis has determined that 487 Swift Street does not reach the threshold of local

significance. Therefore, demolition of the dwelling at 487 Swift Street is acceptable from a heritage perspective for the following reasons:

- The dwelling is in very poor condition and has been condemned by a structural engineer (see Appendix A). The building is not safe for entry or use. Urbis' Heritage Architect has attended the site and also confirms that it is in a severe state of deterioration including partial collapse and would require extensive – almost holistic – reconstruction for any form of continued use. The dwelling is no longer structurally sound and would require extensive structural and reconstruction work. This would result in significant impact and loss of significant fabric due to replacement requirements and extensive loss of interior features. Whilst some external fabric may be suitable for salvage and reuse based on the condition, replacement would be extensive. The poor structural condition is also confirmed by a structural engineering report (see Appendix A). Due to the reduced integrity of the dwelling and the extensive reconstruction and structural intervention required, retention of this item would be financially substantial and potentially unreasonable. Given this item's contribution as per the statement of significance (discussed below) there are many other examples of this period of dwelling that provide this. Further, a Heritage Interpretation Plan to be developed for this site can also demonstrate the understanding of the contribution to the history of Albury without requiring retention of this significantly deteriorated building.
- Further, the existing statement of significance prepared by Council states that 487 Swift Street contributes to the *inner ring of housing around the retail core*. As above, this is the Victorian and early Federation period of subdivision and development. 487 Swift Street was constructed in this period of development, however, is in such poor condition that retention is difficult (as discussed above). The statement of significance relates to inner housing around the retail core. A robust heritage interpretation plan can provide this understanding within a new development.

5.4. VICINITY HERITAGE ITEMS

5.4.1. **Methodist Church (I116) – Statement of Significance**

The State Heritage Inventory provides the following statement of significance for the Methodist Church (I116):

Excellent example of turn of the century Church architecture. Visually the most prominent building within this precinct.²⁵

5.4.2. **Methodist Church Hall (I117) – Statement of Significance**

The State Heritage Inventory provides the following statement of significance for the Methodist Church Hall (I117):

Forms good relationship with precinct. Strong corner element.²⁶

5.4.3. **Shops “Abikhair’s” (I118) – Statement of Significance**

The State Heritage Inventory provides the following statement of significance for Abikhair's Shops (I118):

Extremely important intact group of shops – intact awning. Particular significance as a “historical shop” in continued use under the same proprietor.²⁷

5.4.4. **House (I161) – Statement of Significance**

The State Heritage Inventory provides the following statement of significance for the House at 464 Swift Street (I161):

²⁵ State Heritage Inventory, n.d. 'Methodist Church.' Accessed online:
<https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=1000117>

²⁶ State Heritage Inventory, n.d. 'Methodist Church Hall.' Accessed online:
<https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=1000118>

²⁷ State Heritage Inventory, n.d. 'Shops “Abikhair’s”.' Accessed online:
<https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=1000119>

*Scale is important to corner. Contributes to streetscape.*²⁸

5.4.5. Terrace Houses (I162) – Statement of Significance

The State Heritage Inventory provides the following statement of significance for the Terrace Houses heritage item (I162):

*Relatively intact part of north side of Swift Street group.*²⁹

5.4.6. House “Torlochan” (I163) – Statement of Significance

The State Heritage Inventory provides the following statement of significance for Torlochan (I163):

*Most unusual design, part of inner ring around retail core.*³⁰

5.4.7. Funeral Parlour and Residence at 486 Swift Street, listed as I165

The State Heritage Inventory provides the following statement of significance for the Funeral Parlour and Residence heritage item:

*Good example of large inner Albury housing one of very few two storey examples.*³¹

5.4.8. Swift Street Conservation Area, listed as C15

The State Heritage Inventory provides the following statement of significance for the Swift Street Conservation Area:

*This is a small precinct located either side of the Northern intersection of Swift and David Streets. Whilst the buildings located within this precinct are residential in character, they have been recycled for commercial purposes. The buildings date from the 1890s and display streetscape qualities relating to scale and form.*³²

5.4.9. Dean Street Conservation Area, listed as C6

The State Heritage Inventory provides the following statement of significance for the Dean Street Conservation Area:

The Dean Street Conservation Area comprises two precincts:

1. Dean Street.

2. St Matthews.

The Dean Street precinct is commercial in character, containing shops and offices located between Macauley Street and Wodonga Place. The area contains over 20 significant heritage items including the Court House, the former Albury Council Chambers (now used as the Regional Art Gallery) and Burrows House. The most prominent buildings are located around the three Dean Street intersections of David, Olive and Kiewa Street.

²⁸ State Heritage Inventory, n.d. 'House'. Accessed online: <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=1000162>

²⁹ State Heritage Inventory, n.d. 'Terrace Houses.' Accessed online: <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=1000163>

³⁰ State Heritage Inventory, n.d. 'House "Torlochan."' Accessed online: <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=1000164>

³¹ State Heritage Inventory, n.d. 'Funeral Parlour and Residence.' Accessed online: <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=1000166>

³² State Heritage Inventory, n.d. 'Swift Street Conservation Area.' Accessed online: <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=1000374>

Much of the character of the precinct is located above the awning level. Whilst many premises have modern shop frontages at the street level, many buildings have not been altered at the first floor level.

While this precinct contains mainly two storey buildings, the streetscape is punctuated by a number of spires, namely the CML Building, T&G Building, the Post Office and the New Albury Hotel. Also located within this precinct is a civic square known as Queen Elizabeth II Square (QEII Square). This provides a focus for the central business district and acts as a meeting place and rest area within the City Centre.

Located at the corner of Swift and Olive Streets, are two remaining heritage items namely the Methodist Church (1875), and the Church Hall (1965 and 1925). The Manse (1906) was demolished in 1993 as part of the redevelopment of the site for Police purposes. This is an important corner site close to the City Centre, which provides not only important heritage values but streetscape values as well.

Other highlights of the precinct include the Western vista which leads all the way to the Monument.

St Matthews is a small precinct that contains two important items of Albury's heritage, St Matthews Church and Rectory.

The church comprises three sections. (1) The smaller gabled West Wall containing a Norman-style doorway with three lancet windows above, are constructed of Albury gneiss from Western Hill. This and the tower base are part of the original plan designed by Edmund Blacket in 1857. (2) The Gothic Revival transepts, chancel and vestries were designed by William Boles in 1875 and joined Blacket's nave. They were made of Rocky Hill granite from near One Tree Hill and Table Top sandstone for dressings. (3) The tower, spire, nave roof and larger gabled West Wall were designed by Ian O'Connor for the restoration of St Matthews (completed in 1994) following a devastating fire in 1992. This work included widening Blacket's nave while seeking to fulfil his original design. The stained-glass windows are by Kevin Little.

This building has a good relationship with the neighbouring rectory, which is of Victorian Gothic design. The two contribute significantly to the precinct and adjoining streetscape. The rear of the precinct opens out onto the adjacent QEII Square.

The precinct is also punctuated on either side by the Post Office and Belbridge Hague buildings that are both built to the front boundary, and are of similar scale. In particular the red brick side wall of the Belbridge Hague building provides a sympathetic backdrop to the rectory (1869-1870).

The adjoining Belbridge Hague building was originally an Oddfellows Hall opened in 1874.³³

³³ State Heritage Inventory, n.d. 'Dean Street Conservation Area.' Accessed online: <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=1000368>

6. IMPACT ASSESSMENT

Below, the potential impact of the proposal is assessed against the applicable heritage-related statutory and non-statutory planning controls which relate to the site and the proposed development.

6.1. STATUTORY CONTROLS

6.1.1. Albury Local Environmental Plan 2010

The table below provides an assessment of the proposal against the relevant provision for heritage conservation as found in the Albury LEP 2010.

Table 6 Assessment against the Albury Local Environmental Plan 2010

Clause	Response
<p>(1) Objectives</p> <p><i>The objectives of this clause are as follows:</i></p> <p><i>(a) to conserve the environmental heritage of Albury</i></p> <p><i>(b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,</i></p> <p><i>(c) to conserve archaeological sites,</i></p> <p><i>(d) to conserve Aboriginal objects and Aboriginal places of heritage significance</i></p>	<p>The proposed works within the subject site would include the demolition of two locally listed heritage items, being 'House' (485 Swift Street I164) and 'House' (487 Swift Street I166). Further assessment, including historical research, condition assessment, structural assessment and comparative analysis has reassessed the heritage significance of each of these items and notes that these items do not adequately reach the threshold of local heritage significance.</p> <ul style="list-style-type: none"> ▪ The subject site comprises three individual dwellings, two of which are heritage listed and of alternate periods as discussed further below. These do not form part of a row or wider conservation area. The historic setting of the site is heavily eroded in comparison to other heritage items and conservation areas in the vicinity, whilst the individual sites feature yards with no significant or contributory landscaping and do not make a substantial streetscape contribution. The subject site is also situated adjacent to highly contemporary built form to the rear, including utilitarian carparking and the Albury Central shopping centre which has diminished the historic visual context of the subject site in comparison to other listed sites. ▪ 481 Swift Street is not locally listed and therefore demolition of this building is acceptable from a heritage perspective. Further, in 2013 a Development Application for the demolition of 481 Swift Street, Albury was approved (10.2013.32482.1) however never acted upon. ▪ The subject dwelling at 485 Swift St (<i>Albury LEP 2010 I164</i>) is an Inter -War California Bungalow identified by Council as having local significance. Urbis' further historical research, site investigation (including interiors), comparative analysis, and

Clause	Response
	<p>significance assessment has determined that the dwelling at 485 Swift Street does not reach the threshold of local significance level. Therefore the demolition of the structure would be acceptable from a heritage perspective:</p> <ul style="list-style-type: none"> – The existing statement of significance prepared by Council states that 485 Swift Street contributes to the key period of development and significance of the inner-city residential ring, which is the Victorian and early Federation period of subdivision and development. As an Inter-War building, 485 Swift Street is not associated with this key period of development and does not reach the threshold of significance under this criterion, as outlined in more detail at Section 5.3.2. The dwelling does not reach the threshold of local significance under any other criterion. – 485 Swift Street was built by and resided in by the Abikhair family, owners of the nearby Abikhair Emporium. The Abikhair's Emporium building to the west on Swift St represents the contribution of the family to the development of Albury in a more tangible and significant manner, as the family are associated with economic activity. Further, the Abikhair Family have provided written confirmation that the dwelling is not of any associative or social significance to their family. – Section 4.2 of this HIS includes a thorough comparative analysis of Inter-War Bungalows within Albury. This comparative analysis demonstrated that there are numerous examples of Inter-War Bungalows of equivalent significance and aesthetic contribution within Albury and its surrounding suburbs. As such, the dwelling is not rare in quantity or able to demonstrate qualities not seen in the other examples of Inter-War Bungalows. As above, the subject site at 485 Swift Street located within an eroded setting and under additional pressures to meet housing and infrastructure demands due to its location in the CBD. The other examples are in residential areas within the inner suburbs of Albury surrounded by other residential scale properties and located within a contributory context and setting. Many of these examples are situated in rows of Inter-War Bungalows which form a consistent streetscape character and

Clause	Response
	<p>demonstrate the outwards expansion of housing development in Albury within the Inter-War period. For these reasons, demolition of the structure is considered justifiable and acceptable from a heritage perspective for the provision of high density housing in the CBD area.</p> <ul style="list-style-type: none"> – In 2013 a Development Application was lodged for the demolition of 485 Swift Street, Albury, and was approved (10.2013.32482.1) however never acted upon. ▪ The subject dwelling at 487 Swift Street (<i>Albury LEP 2010</i> I166) has previously reached the threshold of local significance however is so significantly deteriorated and in a state of disrepair that to be habitable would require extensive almost complete reconstruction. Further historical research, site investigation, comparative analysis and significance assessment by Urbis has determined that demolition is acceptable due to the strategic nature of the site and the poor condition of the dwelling. Therefore, demolition of the dwelling at 487 Swift Street is acceptable from a heritage perspective for the following reasons: <ul style="list-style-type: none"> – The dwelling is in very poor condition and has been condemned by a structural engineer (see Appendix A). The building is not safe for entry or use. Urbis' Heritage Architect has attended the site and also confirms that it is in a severe state of deterioration including partial collapse of the floor structure and would require extensive – almost holistic – reconstruction for any form of continued use. The dwelling is no longer structurally sound and would require extensive structural and reconstruction work. This would result in significant impact and loss of significant fabric due to replacement requirements and extensive loss of interior features. Whilst some external fabric may be suitable for salvage and reuse based on the condition, replacement would be extensive. The poor structural condition is also confirmed by a structural engineering report (see Appendix A). Due to the reduced integrity of the dwelling and the extensive reconstruction and structural intervention required, retention of this item would be financially substantial and potentially unreasonable. Given this item's contribution as per the statement of

Clause	Response
	<p>significance (discussed below) there are many other examples of this period of dwelling that provide this. Further, an archival recording and Heritage Interpretation Plan to be developed for this site can also demonstrate the understanding of the contribution to the history of Albury without requiring retention of this significantly deteriorated building.</p> <ul style="list-style-type: none"> – Further, the existing statement of significance prepared by Council states that 487 Swift Street contributes to the <i>inner ring of housing around the retail core</i>. As above, this is the Victorian and early Federation period of subdivision and development. 487 Swift Street was constructed in this period of development, however, is in such poor condition that retention is difficult (as discussed above). The statement of significance relates to inner housing around the retail core. A robust heritage interpretation plan can provide this understanding within a new development. An archival recording is also recommended to allow historical recording contributing to the understanding of the development. – In 2013 a Development Application was lodged for the demolition of 487 Swift Street, Albury. This application was approved (DA 10.2013.32527.1) however never acted upon. <p>In addition to the above impact assessment regarding demolition of the listed heritage items, a detailed impact assessment at Section 6 contains the following key points regarding potential impact of the development on the non-listed subject building as well as vicinity heritage items and conservation areas:</p> <p>The proposed development would also include the construction of a seven-storey mixed use residential apartment building within the subject site. The proposed new building would be acceptable from a heritage perspective and would not result in any adverse impact to vicinity heritage items or to the vicinity Heritage Conservation Area.</p> <ul style="list-style-type: none"> ▪ The proposed residential apartment building is of a scale and height which would be sympathetic and acceptable within the Albury Central Business District and in the context of the vicinity heritage items as the proposed development and the vicinity

Clause	Response
	<p>heritage items are located within separate view corridors and are spatially separated. As Swift Street is a wide tree-lined street there is adequate visual separation between the subject site and the vicinity items. The historic development of the Albury town has varied building typologies and heights and therefore the proposed height has other precedents in the CBD. Furthermore, the area is marked for growth and the proposed height is in accordance with the established height controls of 35m for E2 Commercial Centre zoning within the CBD. As such, further development and future setting is expected to be of an equivalent height scale. While larger than other current existing development in the vicinity, the proposed height and scale of the residential apartments would not visually dominate the streetscape of Swift Street and would not detract from the historic character of the area and the vicinity heritage items given its view lines.</p> <ul style="list-style-type: none"> ▪ The proposed building is of an appropriate bulk and massing, which is reduced through the overall building design, incorporating a ground floor podium level, with four distinctive bays on the front façade which are set back from the podium. The design utilises curved corner forms and a sympathetic balance of solid and void which furthermore reduces the visual bulk of the form and the façade design. Sympathetic landscaping, including vertical garden and overhanging terrace plantings further softens the appearance of the building and ensures it is sympathetic within the streetscape. ▪ The northern side of Swift Street typically features single to double-storey height development, behind which (i.e. to the north) is further low-scale residential setting. This low-scale development forms the height character of northern of Albury. However, the subject site is located on the south side of Swift Street, which features typically double-storey development including the Albury Central shopping centre and the Abikhair Emporium building to the west of the subject site. When viewed looking south from the northern side of Swift Street, the taller buildings on Dean Street (also of two-three storeys) are visible behind the subject site and therefore the proposed development would always be viewed in the visual context of increased bulk and height. This ensures that the height of the proposed development

Clause	Response
	<p>is not of an unsympathetic scale within the visual context of the subject site.</p> <ul style="list-style-type: none"> ▪ The proposed residential apartment would not obstruct any significant views along Swift Street, including views to, from and between heritage items and the nearby Heritage Conservation Area. Further, the proposed apartment building would not visually dominate the streetscape on account of its appropriate bulk, height and scale (as above), and furthermore is of an appropriate sympathetic materials, colours and finishes palette which would ensure it is recessive within its setting. This includes the use of light coloured, earthy brickwork which is in a neutral tone and matte finish. The materials palette would also include powdercoated metals in neutral tones, timber, and glazing. <p>Therefore, the proposed works would retain the environmental heritage and significance of Albury.</p>
<p>(2) Requirement for consent</p> <p><i>Development consent is required for any of the following:</i></p> <p><i>(a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance):</i></p> <p><i>(i) a heritage item,</i></p> <p><i>(ii) an Aboriginal object,</i></p> <p><i>(iii) a building, work, relic or tree within a heritage conservation area,</i></p> <p><i>(b) altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item,</i></p> <p><i>(c) disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed,</i></p> <p><i>(d) disturbing or excavating an Aboriginal place of heritage significance,</i></p>	<p>The proposed works would involve impacts to two heritage items, being 'House' (485 Swift Street I164) and 'House' (487 Swift Street I166). Therefore, development consent is required. This HIS has been prepared to assist Albury Council with their determination of the project.</p>

Clause	Response
<p>(e) erecting a building on land:</p> <p>(i) on which a heritage item is located or that is within a heritage conservation area, or</p> <p>(ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance,</p> <p>(f) subdividing land:</p> <p>(i) on which a heritage item is located or that is within a heritage conservation area, or</p> <p>(ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance.</p>	
<p>(4) Effect of proposed development on heritage significance</p> <p><i>The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).</i></p>	<p>This HIS has assessed the proposed works and potential impacts to the heritage significance of the two locally listed heritage items, 'House' (485 Swift Street I164) and 'House' (487 Swift Street I166). As discussed above, the proposed works would see the demolition of the two heritage items, however it has been determined that the items do not reach the threshold of local significance. Further, due to the dilapidation, very poor condition, and structural inadequacy of 487 Swift Street, this building cannot feasibly or safely be retained without requiring extensive reconstruction works which would diminish significance and result in a substantial financial burden.</p> <p>Further, as above, the proposed new mixed-use apartment building is of a sympathetic bulk, height, scale and materials, colours and finishes which would be appropriate within the streetscape and not result in any adverse visual impacts to the vicinity heritage items and HCA.</p>
<p>(5) Heritage assessment</p> <p><i>The consent authority may, before granting consent to any development:</i></p> <p>(a) on land on which a heritage item is located, or</p> <p>(b) on land that is within a heritage conservation area, or</p> <p>(c) on land that is within the vicinity of land referred to in paragraph (a) or (b),</p> <p><i>require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage</i></p>	<p>This HIS has assessed potential impacts to the two heritage items within the subject site resulting from the proposed works. This HIS will be submitted with the Development Application for the project. This HIS has determined that the subject site is not of local heritage significance and that the proposed development would not result in adverse impacts to vicinity heritage items or HCAs. This HIS has been prepared to assist Council with their determination of the project.</p>

Clause	Response
<i>significance of the heritage item or heritage conservation area concerned.</i>	

6.2. ALBURY DEVELOPMENT CONTROL PLAN 2010

The table below assesses the proposal against the relevant objective and provisions for heritage conservation as found in the Albury *DCP* 2010.

Table 7 Assessment against the Albury Development Control Plan 2010

Provision	Response
1. To identify heritage buildings and areas within Albury, and encourage the conservation and enhancement of these items.	This assessment has undertaken further assessment of the two locally listed heritage items and has determined that the items do not reach the threshold of local significance. Ongoing conservation of these heritage items is not feasible due to the dilapidated condition of 487 Swift Street in particular. Further, 487 Swift Street is of very poor condition and detracts from the overall streetscape of Swift Street. The proposed works would therefore be appropriate to the context of the subject site.
2. To maintain and enhance the overall streetscape and environmental quality of the city	As above, the subject site including the three dwellings present, do not make a substantial contribution to the streetscape. Further, 481 and 487 Swift Street are in very poor dilapidated condition. The proposed new mixed-use apartment building would be a sympathetic addition to the streetscape. The design incorporates a sympathetic bulk, scale and height, as well as recessive, neutral materials, colours and finishes which would enhance the streetscape. The proposal would not result in visual impact to any vicinity heritage items or HCAs, and would not obstruct or detract from any significant views along Swift Street.
8. To control the demolition of heritage items or buildings located in heritage conservation areas and archivally record these buildings in circumstances of demolition.	The proposed works within the subject site would include the demolition of two locally listed heritage items, being 'House' (485 Swift Street I164) and 'House' (487 Swift Street I166). Further assessment, including historical research, condition assessment, structural assessment and comparative analysis has reassessed the heritage significance of each of these items. 485 Swift Street is assessed by Council as being associated with the significant phase of development throughout the inner city ring of inner housing. Further assessment by Urbis has determined that the key period of historical development within the inner city area occurred within the Victorian and Federation period and as an Inter-War dwelling, the subject site is not associated with this key

Provision	Response
	<p>phase. Further, there are numerous other examples of Inter-War Bungalows within the Albury district which are in residential settings of greater integrity and feature rows of Bungalows, demonstrating the exponential growth of Albury throughout the Inter-War period.</p> <p>The subject dwelling at 487 Swift Street (<i>Albury LEP 2010</i> 1166) has previously reached the threshold of local significance however is so significantly deteriorated and in a state of disrepair that to be habitable would require extensive almost complete reconstruction. Further historical research, site investigation, comparative analysis and significance assessment by Urbis has determined that demolition is acceptable due to the strategic nature of the site and the poor condition of the dwelling. The dwelling is in very poor condition and has been condemned by a structural engineer (see Appendix A). The building is not safe for entry or use. Urbis' Heritage Architect has attended the site and also confirms that it is in a severe state of deterioration including partial collapse of the floor structure and would require extensive – almost holistic – reconstruction for any form of continued use. The dwelling is no longer structurally sound and would require extensive structural and reconstruction work. This would result in significant impact and loss of significant fabric due to replacement requirements and extensive loss of interior features. Whilst some external fabric may be suitable for salvage and reuse based on the condition, replacement would be extensive. The poor structural condition is also confirmed by a structural engineering report (see Appendix A). Due to the reduced integrity of the dwelling and the extensive reconstruction and structural intervention required, retention of this item would be financially substantial and potentially unreasonable. Given this item's contribution as per the statement of significance (discussed below) there are many other examples of this period of dwelling that provide this. Further, an archival recording and Heritage Interpretation Plan to be developed for this site can also demonstrate the understanding of the contribution to the history of Albury without requiring retention of this significantly deteriorated building.</p> <p>As such, demolition of the two listed heritage items would be acceptable and unavoidable to facilitate further use of the subject site.</p>
7.4.2 Matters for Consideration	

Provision	Response
<p>i. The heritage significance of the building, work or Aboriginal object to Albury.</p> <p>ii. The extent to which the carrying out of development in accordance with the consent would affect the significance of the building, work or Aboriginal object and its setting.</p> <p>iv. Whether any stylistic, horticultural or archaeological features of the building or work or its setting should be retained.</p> <p>v. Whether the building or work constitutes a danger to the users or occupiers of that item or to the public.</p>	<p>As above, the subject site does not reach the threshold of local significance.</p> <p>ii. 481 and 485 Swift Street do not adequately reach the threshold of local significance. 487 Swift Street is of very poor condition and is therefore no longer able to demonstrate any key aspects of its significance. While the proposal therefore includes the demolition of two locally listed heritage items, it is assessed that these items do not reach the threshold of local significance or require retention. The proposed new apartment building would be sympathetic to the subject site, streetscape and vicinity heritage items.</p> <p>iv. As above, the subject site does not include any features or significance that would require retention.</p> <p>v. The existing buildings at 481 and 487 Swift Street are structurally inadequate and in very poor condition. They are unsafe for entry and repair or reconstruction is not feasible. Reconstruction would result in extensive replacement of fabric which would see the removal of most original significant fabric and would not be achievable as there is not adequate evidence for subject site.</p>
<p>7.4.3 Demolition</p> <p><i>Objectives</i></p> <p>1. To control demolition of heritage items and buildings and works within heritage conservation areas and archivally record these buildings in circumstances of demolition.</p> <p><i>Controls</i></p> <p>i. An application to demolish a heritage item or a building or work within a conservation area must be accompanied by detailed plans of the building which is proposed to take its place. Council will have regard to this proposal in considering the application for demolition.</p>	<p>As above.</p> <p>Complies, the proposed Development Application has included detailed plans of the proposed new mixed-use residential apartment building. The proposed development would also include the construction of a seven-storey mixed use residential apartment building within the subject site. The proposed new building would be acceptable from a heritage perspective and would not result in any adverse impact to vicinity heritage items or to the vicinity Heritage Conservation Area for the following reasons:</p> <ul style="list-style-type: none"> – The proposed residential apartment building would not result in physical or direct impacts to any

Provision	Response
	<p data-bbox="887 230 1394 293">vicinity heritage items or Heritage Conservation Areas.</p> <ul style="list-style-type: none"> <li data-bbox="842 331 1441 1211">– The proposed residential apartment building is of a scale and height which would be sympathetic and acceptable within the Albury Central Business District and in the context of the vicinity heritage items as the proposed development and the vicinity heritage items are located within separate view corridors and are spatially separated. As Swift Street is a wide tree-lined street there is adequate visual separation between the subject site and the vicinity items. The historic development of the Albury town has varied building typologies and heights and therefore the proposed height has other precedents in the CBD. Furthermore, the area is marked for growth and the proposed height is in accordance with the established height controls of 35m for E2 Commercial Centre zoning within the CBD. As such, further development and future setting is expected to be of an equivalent height scale. While larger than other current development in the vicinity, the proposed height and scale of the residential apartment would not visually dominate the streetscape of Swift Street and would not detract from the historic character of the area and the vicinity heritage items. <li data-bbox="842 1249 1441 2020">– The proposed building is of an appropriate bulk and massing, which is reduced through the overall building design, incorporating a ground floor podium level, with four distinctive bays on the front façade which are set back from the podium. The design utilises curved corner forms and a sympathetic balance of solid and void which furthermore reduces the visual bulk of the form and the façade design. Sympathetic landscaping, including vertical garden and overhanging terrace plantings further softens the appearance of the building and ensures it is sympathetic within the streetscape. The northern side of Swift Street typically features single to double-storey height development, behind which (i.e. to the north) is further low-scale residential setting. This low-scale development forms the height character of northern of Albury. However, the subject site is located on the south side of Swift Street, which features typically double-storey development including the Albury Central shopping centre and the Abikhair

Provision	Response
<p>ii. An application for demolition shall also address in the statement of environmental effects:</p> <ul style="list-style-type: none"> ▪ The historic, aesthetic and/or social significance of the building, its nature and degree, and its relationship to the overall character and significance of the locality. ▪ The impact of the removal of the building or work on the overall significance of the area. ▪ The reason for the proposed removal, especially why it is considered, and to what extent, the building/site can no longer be used in its existing form or with appropriate adaptation. 	<p>Emporium building to the west of the subject site. When viewed looking south from the northern side of Swift Street, the taller buildings on Dean Street (also of two-three storeys) are visible behind the subject site and therefore the proposed development would always be viewed in the visual context of increased bulk and height. This ensures that the height of the proposed development is not of an unsympathetic scale within the visual context of the subject site.</p> <ul style="list-style-type: none"> – The proposed residential apartment would not obstruct any significant views along Swift Street, including views to, from and between heritage items and the nearby Heritage Conservation Area. Further, the proposed apartment building would not visually dominate the streetscape on account of its appropriate bulk, height and scale (as above), and furthermore is of an appropriate sympathetic materials, colours and finishes palette which would ensure it is recessive within its setting. This includes the use of light coloured, earthy brickwork which is in a neutral tone and matte finish. The materials palette would also include powdercoated metals in neutral tones, timber, and glazing. <p>Complies, this HIS has addressed the significance of the subject site in detail in Section 5.</p> <p>The proposed works within the subject site would include the demolition of two locally listed heritage items, being 'House' (485 Swift Street I164) and 'House' (487 Swift Street I166). Further assessment, including historical research, condition assessment, structural assessment and comparative analysis has reassessed the heritage significance of each of these items and notes that these items do not adequately reach the threshold of local heritage significance.</p> <p>The subject site comprises three individual dwellings, two of which are heritage listed and of alternate periods as discussed further below. These do not form part of a row or wider conservation area. The setting of the site is heavily eroded in comparison to other heritage items and conservation areas in the vicinity, whilst the individual sites feature yards with no significant or contributory landscaping and do not make a substantial streetscape contribution. The subject site is also situated adjacent to highly contemporary built form to the rear, including utilitarian carparking and the Albury Central shopping</p>

Provision	Response
	<p>centre which has diminished the historic visual context of the subject site.</p> <p>481 Swift Street is not locally listed and therefore demolition of this building is acceptable from a heritage perspective.</p> <p>485 Swift Street is assessed by Council as being associated with the significant phase of development throughout the inner city ring of inner housing. Further assessment by Urbis has determined that the key period of historical development within the inner city area occurred within the Victorian and Federation period and as an Inter-War dwelling, the subject site is not associated with this key phase. The subject dwelling at 485 Swift St (<i>Albury LEP 2010</i> 1164) is an Inter -War California Bungalow identified by Council as having local significance. Urbis' further historical research, site investigation (including interiors), comparative analysis, and significance assessment has determined that the dwelling at 485 Swift Street does not reach the threshold of local significance level. The existing statement of significance prepared by Council states that 485 Swift Street contributes to the key period of development and significance of the inner-city residential ring, which is the Victorian and early Federation period of subdivision and development. As an Inter-War building, 485 Swift Street is not associated with this key period of development and does not reach the threshold of significance under this criterion, as outlined in more detail at Section 5.3.2. The dwelling does not reach the threshold of local significance under any other criterion. 485 Swift Street was built by and resided in by the Abikhair family, owners of the nearby Abikhair Emporium. The Abikhair's Emporium building to the west on Swift St represents the contribution of the family to the development of Albury in a more tangible and significant manner, as the family are associated with economic activity. Further, the Abikhair Family have provided written confirmation that the dwelling is not of any associative or social significance to their family. Therefore the demolition of the structure would be acceptable from a heritage perspective for the following reasons:</p> <p>The subject dwelling at 487 Swift Street (<i>Albury LEP 2010</i> 1166) may have previously reached the threshold of local significance however is so significantly deteriorated and in a state of disrepair that to be habitable would require complete reconstruction, due to this its</p>

Provision	Response
	<p>significance is severely deteriorated. Therefore, demolition of the dwelling at 487 Swift Street is acceptable from a heritage perspective for the following reasons:</p> <ul style="list-style-type: none"> – The dwelling is in very poor condition and has been condemned by a structural engineer (see Appendix A). The building is not safe for entry or use. Urbis' Heritage Architect has attended the site and also confirms that it is in a severe state of deterioration including partial collapse and would require extensive – almost holistic – reconstruction for any form of continued use. The dwelling is no longer structurally sound and would require extensive structural and reconstruction work. This would result in significant impact and loss of significant fabric due to replacement requirements and extensive loss of interior features. Whilst some external fabric may be suitable for salvage and reuse based on the condition, replacement would be extensive. The poor structural condition is also confirmed by a structural engineering report (see Appendix A). Due to the reduced integrity of the dwelling and the extensive reconstruction and structural intervention required, retention of this item would be financially substantial and potentially unreasonable. Given this item's contribution as per the statement of significance (discussed below) there are many other examples of this period of dwelling that provide this. Further, a Heritage Interpretation Plan to be developed for this site can also demonstrate the understanding of the contribution to the history of Albury without requiring retention of this significantly deteriorated building. – Further, the existing statement of significance prepared by Council states that 487 Swift Street contributes to the <i>inner ring of housing around the retail core</i>. As above, this is the Victorian and early Federation period of subdivision and development. 487 Swift Street was constructed in this period of development, however, is in such poor condition that retention is difficult (as discussed above). The statement of significance relates to inner housing around the retail core. A robust heritage interpretation plan can provide this understanding within a new development.

Provision	Response
	Therefore, demolition of the dwellings situated within the subject site would be appropriate for the above reasons.
<p>7.4.5 Development in the vicinity of a Heritage Item or Conservation Area</p> <p><i>In assessing a development proposal, Council will consider the impact of the development on the heritage significance of the heritage item, work, Aboriginal object or character, objectives and controls of the relevant heritage conservation area.</i></p>	<p>As above, the proposed new building would be acceptable from a heritage perspective and would not result in any adverse impact to vicinity heritage items or to the vicinity Heritage Conservation Area for the following reasons:</p> <ul style="list-style-type: none"> ▪ The proposed residential apartment building would not result in physical or direct impacts to any vicinity heritage items or Heritage Conservation Areas. ▪ The proposed residential apartment building is of a scale and height which would be sympathetic and acceptable within the Albury Central Business District and in the context of the vicinity heritage items as the proposed development and the vicinity heritage items are located within separate view corridors and are spatially separated. As Swift Street is a wide tree-lined street there is adequate visual separation between the subject site and the vicinity items. The historic development of the Albury town has varied building typologies and heights and therefore the proposed height has other precedents in the CBD. Furthermore, the area is marked for growth and the proposed height is in accordance with the established height controls of 35m for E2 Commercial Centre zoning within the CBD. As such, further development and future setting is expected to be of an equivalent height scale. While larger than other current existing development in the vicinity, the proposed height and scale of the residential apartments would not visually dominate the streetscape of Swift Street and would not detract from the historic character of the area and the vicinity heritage items given its view lines. ▪ The proposed building is of an appropriate bulk and massing, which is reduced through the overall building design, incorporating a ground floor podium level, with four distinctive bays on the front façade which are set back from the podium. The design utilises curved corner forms and a sympathetic balance of solid and void which furthermore reduces the visual bulk of the form and the façade design. Sympathetic landscaping, including vertical garden and overhanging terrace plantings further softens the

Provision	Response
	<p>appearance of the building and ensures it is sympathetic within the streetscape.</p> <ul style="list-style-type: none"> ▪ The northern side of Swift Street typically features single to double-storey height development, behind which (i.e. to the north) is further low-scale residential setting. This low-scale development forms the height character of northern of Albury. However, the subject site is located on the south side of Swift Street, which features typically double-storey development including the Albury Central shopping centre and the Abikhair Emporium building to the west of the subject site. When viewed looking south from the northern side of Swift Street, the taller buildings on Dean Street (also of two-three storeys) are visible behind the subject site and therefore the proposed development would always be viewed in the visual context of increased bulk and height. This ensures that the height of the proposed development is not of an unsympathetic scale within the visual context of the subject site. ▪ The proposed residential apartment would not obstruct any significant views along Swift Street, including views to, from and between heritage items and the nearby Heritage Conservation Area. Further, the proposed apartment building would not visually dominate the streetscape on account of its appropriate bulk, height and scale (as above), and furthermore is of an appropriate sympathetic materials, colours and finishes palette which would ensure it is recessive within its setting. This includes the use of light coloured, earthy brickwork which is in a neutral tone and matte finish. The materials palette would also include powdercoated metals in neutral tones, timber, and glazing.

6.3. HERITAGE NSW GUIDELINES

The proposed works are addressed in relation to relevant questions posed in Heritage NSW's (former Heritage Office/Heritage Division) 'Statement of Heritage Impact' guidelines.

Table 8 - Heritage NSW Guidelines

Clause	Discussion
The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:	The subject site comprises three individual dwellings, two of which are heritage listed and of alternate periods as discussed further below. These do not form part of a row or wider conservation area. The setting of the site is heavily eroded in

Clause	Discussion
	<p>comparison to other heritage items and conservation areas in the vicinity, whilst the individual sites feature yards with no significant or contributory landscaping and do not make a substantial streetscape contribution. The subject site is also situated adjacent to highly contemporary built form to the rear, including utilitarian carparking and the Albury Central shopping centre which has diminished the historic visual context of the subject site.</p> <ul style="list-style-type: none"> ▪ The subject site comprises three individual dwellings, two of which are heritage listed and of alternate periods as discussed further below. These do not form part of a row or wider conservation area. The historic setting of the site is heavily eroded in comparison to other heritage items and conservation areas in the vicinity, whilst the individual sites feature yards with no significant or contributory landscaping and do not make a substantial streetscape contribution. The subject site is also situated adjacent to highly contemporary built form to the rear, including utilitarian carparking and the Albury Central shopping centre which has diminished the historic visual context of the subject site in comparison to other listed sites. ▪ 481 Swift Street is not locally listed and therefore demolition of this building is acceptable from a heritage perspective. Further, in 2013 a Development Application for the demolition of 481 Swift Street, Albury was approved (10.2013.32482.1) however never acted upon. ▪ The subject dwelling at 485 Swift St (<i>Albury LEP 2010 I164</i>) is an Inter -War California Bungalow identified by Council as having local significance. Urbis' further historical research, site investigation (including interiors), comparative analysis, and significance assessment has determined that the dwelling at 485 Swift Street does not reach the threshold of local significance level. Therefore the demolition of the structure would be acceptable from a heritage perspective. The key points of our assessment are outlined below: ▪ The existing statement of significance prepared by Council states that 485 Swift Street contributes to the key period of development and significance of the inner-city residential ring, which is the Victorian and early Federation period of subdivision and development. As an Inter-War building, 485 Swift Street is not associated with this key period of development and does not reach the threshold of significance under this criterion, as outlined in more detail

Clause	Discussion
	<p>at Section 5.3.2. The dwelling does not reach the threshold of local significance under any other criterion.</p> <ul style="list-style-type: none"> ▪ 485 Swift Street was built by and resided in by the Abikhair family, owners of the nearby Abikhair Emporium. The Abikhair's Emporium building to the west on Swift St represents the contribution of the family to the development of Albury in a more tangible and significant manner, as the family are associated with economic activity. Further, the Abikhair Family have provided written confirmation that the dwelling is not of any associative or social significance to their family. ▪ Section 4.2 of this HIS includes a thorough comparative analysis of Inter-War Bungalows within Albury. This comparative analysis demonstrated that there are numerous examples of Inter-War Bungalows of equivalent significance and aesthetic contribution within Albury and its surrounding suburbs. As such, the dwelling is not rare in quantity or able to demonstrate qualities not seen in the other examples of Inter-War Bungalows. As above, the subject site at 485 Swift Street located within an eroded setting and under additional pressures to meet housing and infrastructure demands due to its location in the CBD. The other examples are in residential areas within the inner suburbs of Albury surrounded by other residential scale properties and located within a contributory context and setting. Many of these examples are situated in rows of Inter-War Bungalows which form a consistent streetscape character and demonstrate the outwards expansion of housing development in Albury within the Inter-War period. For these reasons, demolition of the structure is considered justifiable and acceptable from a heritage perspective for the provision of high density housing in the CBD area. ▪ In 2013 a Development Application was lodged for the demolition of 485 Swift Street, Albury, and was approved (10.2013.32482.1) however never acted upon. ▪ The subject dwelling at 487 Swift Street (<i>Albury LEP 2010</i> I166) has previously reached the threshold of local significance however is so significantly deteriorated and in a state of disrepair that to be habitable would require extensive almost complete reconstruction. Further historical research, site investigation, comparative analysis and significance assessment by Urbis has determined that demolition is acceptable due to the strategic nature of the site and the poor condition of the dwelling. Therefore,

Clause	Discussion
	<p>demolition of the dwelling at 487 Swift Street is acceptable from a heritage perspective for the following reasons:</p> <ul style="list-style-type: none"> ▪ The dwelling is in very poor condition and has been condemned by a structural engineer (see Appendix A). The building is not safe for entry or use. Urbis' Heritage Architect has attended the site and also confirms that it is in a severe state of deterioration including partial collapse of the floor structure and would require extensive – almost holistic – reconstruction for any form of continued use. The dwelling is no longer structurally sound and would require extensive structural and reconstruction work. This would result in significant impact and loss of significant fabric due to replacement requirements and extensive loss of interior features. Whilst some external fabric may be suitable for salvage and reuse based on the condition, replacement would be extensive. The poor structural condition is also confirmed by a structural engineering report (see Appendix A). Due to the reduced integrity of the dwelling and the extensive reconstruction and structural intervention required, retention of this item would be financially substantial and potentially unreasonable. Given this item's contribution as per the statement of significance (discussed below) there are many other examples of this period of dwelling that provide this. Further, an archival recording and Heritage Interpretation Plan to be developed for this site can also demonstrate the understanding of the contribution to the history of Albury without requiring retention of this significantly deteriorated building. ▪ Further, the existing statement of significance prepared by Council states that 487 Swift Street contributes to the <i>inner ring of housing around the retail core</i>. As above, this is the Victorian and early Federation period of subdivision and development. 487 Swift Street was constructed in this period of development, however, is in such poor condition that retention is difficult (as discussed above). The statement of significance relates to inner housing around the retail core. A robust heritage interpretation plan can provide this understanding within a new development. An archival recording is also recommended to allow historical recording contributing to the understanding of the development. ▪ In 2013 a Development Application was lodged for the demolition of 487 Swift Street, Albury. This application was approved (DA 10.2013.32527.1) however never acted upon.

Clause	Discussion
	<ul style="list-style-type: none"> ▪ In addition to the above impact assessment regarding demolition of the listed heritage items, a detailed impact assessment at Section 6 contains the following key points regarding potential impact of the development on the non-listed subject building as well as vicinity heritage items and conservation areas: ▪ The proposed development would also include the construction of a seven-storey mixed use residential apartment building within the subject site. The proposed new building would be acceptable from a heritage perspective and would not result in any adverse impact to vicinity heritage items or to the vicinity Heritage Conservation Area for the following reasons: ▪ The proposed residential apartment building would not result in physical or direct impacts to any vicinity heritage items or Heritage Conservation Areas. ▪ The proposed residential apartment building is of a scale and height which would be sympathetic and acceptable within the Albury Central Business District and in the context of the vicinity heritage items as the proposed development and the vicinity heritage items are located within separate view corridors and are spatially separated. As Swift Street is a wide tree-lined street there is adequate visual separation between the subject site and the vicinity items. The historic development of the Albury town has varied building typologies and heights and therefore the proposed height has other precedents in the CBD. Furthermore, the area is marked for growth and the proposed height is in accordance with the established height controls of 35m for E2 Commercial Centre zoning within the CBD. As such, further development and future setting is expected to be of an equivalent height scale. While larger than other current existing development in the vicinity, the proposed height and scale of the residential apartments would not visually dominate the streetscape of Swift Street and would not detract from the historic character of the area and the vicinity heritage items given its view lines. ▪ The proposed building is of an appropriate bulk and massing, which is reduced through the overall building design, incorporating a ground floor podium level, with four distinctive bays on the front façade which are set back from the podium. The design utilises curved corner forms and a sympathetic balance of solid and void which furthermore reduces the visual bulk of the form and the façade design. Sympathetic landscaping, including vertical garden and

Clause	Discussion
	<p>overhanging terrace plantings further softens the appearance of the building and ensures it is sympathetic within the streetscape.</p> <ul style="list-style-type: none"> ▪ The northern side of Swift Street typically features single to double-storey height development, behind which (i.e. to the north) is further low-scale residential setting. This low-scale development forms the height character of northern of Albury. However, the subject site is located on the south side of Swift Street, which features typically double-storey development including the Albury Central shopping centre and the Abikhair Emporium building to the west of the subject site. When viewed looking south from the northern side of Swift Street, the taller buildings on Dean Street (also of two-three storeys) are visible behind the subject site and therefore the proposed development would always be viewed in the visual context of increased bulk and height. This ensures that the height of the proposed development is not of an unsympathetic scale within the visual context of the subject site. ▪ The proposed residential apartment would not obstruct any significant views along Swift Street, including views to, from and between heritage items and the nearby Heritage Conservation Area. Further, the proposed apartment building would not visually dominate the streetscape on account of its appropriate bulk, height and scale (as above), and furthermore is of an appropriate sympathetic materials, colours and finishes palette which would ensure it is recessive within its setting. This includes the use of light coloured, earthy brickwork which is in a neutral tone and matte finish. The materials palette would also include powdercoated metals in neutral tones, timber, and glazing. <p>Therefore, the proposed works would retain the environmental heritage and significance of Albury.</p>
<p>The following aspects of the proposal could detrimentally impact on heritage significance.</p> <p>The reasons are explained as well as the measures to be taken to minimise impacts:</p>	<p>As above, the subject site does not reach the threshold of local significance. The proposed works would therefore not impact the heritage significance of the subject site, streetscape, or vicinity heritage items or HCA.</p>
<p>The following sympathetic solutions have been considered and discounted for the following reasons:</p>	<p>Retention of the subject buildings is not feasible at the subject site from a design perspective. Due to the siting of the dwellings cannot be achieved and due to structural issues relocation or partial retention would not be achievable.</p>

Clause	Discussion
<p>Demolition of a building or structure</p> <p>Have all options for retention and adaptive re-use been explored?</p> <p>Can all of the significant elements of the heritage item be kept and any new development be located elsewhere on the site?</p> <p>Is demolition essential at this time or can it be postponed in case future circumstances make its retention and conservation more feasible?</p> <p>Has the advice of a heritage consultant been sought? Have the consultant's recommendations been implemented? If not, why not?</p>	<p>As above, the subject site does not reach the threshold of significance. Retention of 485 Swift Street is not required or feasible from a design perspective due to its siting on the subject site. 481 Swift Street and 487 Swift Street are not appropriate for retention due to structural inadequacy and very poor condition. As such, these buildings would not be able to be retained or adaptively reused. Retention and reuse would require extensive structural intervention which would require removal of most fabric and a full reconstruction. Further, as this would include extensive replacement with contemporary fabric, the subject site would no longer reach the threshold of local significance.</p> <p>The proposal has been thoroughly assessed by a heritage consultant within this HIS.</p>
<p>New development adjacent to a heritage item</p> <p>How does the new development affect views to, and from, the heritage item?</p> <p>What has been done to minimise negative effects?</p> <p>How is the impact of the new development on the heritage significance of the item or area to be minimised?</p> <p>Why is the new development required to be adjacent to a heritage item?</p> <p>How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?</p> <p>Is the development sited on any known, or potentially significant archaeological deposits?</p> <p>If so, have alternative sites been considered? Why were they rejected?</p> <p>Is the new development sympathetic to the heritage item?</p> <p>In what way (e.g. form, siting, proportions, design)?</p> <p>Will the additions visually dominate the heritage item?</p> <p>How has this been minimised?</p> <p>Will the public, and users of the item, still be able to view and appreciate its significance?</p>	<p>The proposed works would include the construction of a new mixed-use residential apartment building adjacent to three heritage items. The proposal would not directly impact fabric or landscape elements associated with these vicinity items. The proposed bulk, scale and form of the proposed new building would utilise a respectful setback from the Swift Street frontage. This setback would maintain views along Swift Street, including views to and from the vicinity heritage items and Heritage Conservation Area.</p> <p>The adjacent heritage items are different lots to the subject site and therefore physical fabric or elements within the curtilage would not be impacted by the proposal. Each adjacent item is separated by roads, including Swift Street and Olive Street, therefore retaining suitable curtilage and significance. The subject site is located in the central business district of Albury, which is the historic centre of the town and features many heritage items. This area of the CBD requires additional infrastructure and amenity, such as residential apartments, to facilitate the needs of contemporary Albury. As such, the proposed development is adjacent to several heritage items.</p> <p>An archaeological assessment is beyond the scope of this HIS.</p>

Clause	Discussion
	<p>The proposed new building would be acceptable from a heritage perspective and would not result in any adverse impact to vicinity heritage items or to the vicinity Heritage Conservation Area for the following reasons:</p> <ul style="list-style-type: none"> ▪ The proposed development would also include the construction of a seven-storey mixed use residential apartment building within the subject site. The proposed new building would be acceptable from a heritage perspective and would not result in any adverse impact to vicinity heritage items or to the vicinity Heritage Conservation Area for the following reasons: ▪ The proposed residential apartment building would not result in physical or direct impacts to any vicinity heritage items or Heritage Conservation Areas. ▪ The proposed residential apartment building is of a scale and height which would be sympathetic and acceptable within the Albury Central Business District and in the context of the vicinity heritage items as the proposed development and the vicinity heritage items are located within separate view corridors and are spatially separated. As Swift Street is a wide tree-lined street there is adequate visual separation between the subject site and the vicinity items. The historic development of the Albury town has varied building typologies and heights and therefore the proposed height has other precedents in the CBD. Furthermore, the area is marked for growth and the proposed height is in accordance with the established height controls of 35m for E2 Commercial Centre zoning within the CBD. As such, further development and future setting is expected to be of an equivalent height scale. While larger than other current existing development in the vicinity, the proposed height and scale of the residential apartments would not visually dominate the streetscape of Swift Street and would not detract from the historic character of the area and the vicinity heritage items given its view lines. ▪ The proposed building is of an appropriate bulk and massing, which is reduced through the overall building design, incorporating a ground floor podium level, with four distinctive bays on the front façade which are set back from the podium. The design utilises curved corner forms and a sympathetic balance of solid and void which furthermore reduces

Clause	Discussion
	<p>the visual bulk of the form and the façade design. Sympathetic landscaping, including vertical garden and overhanging terrace plantings further softens the appearance of the building and ensures it is sympathetic within the streetscape.</p> <ul style="list-style-type: none"> ▪ The northern side of Swift Street typically features single to double-storey height development, behind which (i.e. to the north) is further low-scale residential setting. This low-scale development forms the height character of northern of Albury. However, the subject site is located on the south side of Swift Street, which features typically double-storey development including the Albury Central shopping centre and the Abikhair Emporium building to the west of the subject site. When viewed looking south from the northern side of Swift Street, the taller buildings on Dean Street (also of two-three storeys) are visible behind the subject site and therefore the proposed development would always be viewed in the visual context of increased bulk and height. This ensures that the height of the proposed development is not of an unsympathetic scale within the visual context of the subject site. ▪ The proposed residential apartment would not obstruct any significant views along Swift Street, including views to, from and between heritage items and the nearby Heritage Conservation Area. Further, the proposed apartment building would not visually dominate the streetscape on account of its appropriate bulk, height and scale (as above), and furthermore is of an appropriate sympathetic materials, colours and finishes palette which would ensure it is recessive within its setting. This includes the use of light coloured, earthy brickwork which is in a neutral tone and matte finish. The materials palette would also include powdercoated metals in neutral tones, timber, and glazing.

7. CONCLUSIONS

Urbis has been engaged by Joss Constructions to prepare this Heritage Impact Statement (HIS) to accompany a Development Application for the demolition of existing structures and construction of a new residential apartment building at 481-487 Swift Street, Albury (the subject site).

The subject site comprises three freestanding dwellings at 481-483, 485 and 487 Swift Street. The two properties at 485 and 487 Swift Street are heritage listed on the *Albury Local Environmental Plan (LEP) 2010* as:

- *House*, 485 Swift Street, Albury (Item 164)
- *House*, 487 Swift Street, Albury (Item 166)

The subject site is also located within the vicinity of Heritage Conservation Areas and heritage items as identified in Section 5.2 of this report.

The subject site features three dwellings situated on three different cadastral boundaries. The proposed works include the demolition of these dwellings and the construction of a seven-storey mixed use residential apartment building with ground floor retail/commercial tenancies. Further details of the proposed works are included in Section 1.5.

This HIS has been prepared to assess the heritage impacts of the proposed works on the subject site ('House' (485 Swift St, I164) and 'House' (487 Swift Street, I166)) and immediate vicinity. This HIS also provides an assessment of the proposed demolition of the two heritage items located on the subject site. This HIS has also assessed potential impacts to the heritage items and heritage conservation areas in the vicinity.

A detailed impact assessment of the proposed works has been undertaken in Section 5 of this report. The proposed development would involve the demolition of two listed heritage items, which is considered acceptable due to a detailed assessment of significance and historical research, understanding of the historical development of the Albury CBD and wider Albury, conservation areas as well as the current planning and infrastructure needs of wider Albury. The subject site is situated within the Albury CBD which is needed to meet growing housing demand within the region. The Albury Local Housing Strategy (Albury City, March 2023) outlines the housing needs of Albury, notably to house a growing population, expected to increase by 20,000 people in 20 years.³⁴ Furthermore, the subject site is in an eroded historic setting in comparison to the well preserved historic areas in the vicinity. The surrounding streets and precincts within the CBD are Heritage Conservation Areas or rows of heritage items which are of greater integrity and contribution to the history and aesthetic character and understanding of the town. As such, the proposal is considered acceptable for the reasons outlined below and discussed in detail within the report.:

- The subject site comprises three individual dwellings, two of which are heritage listed and of alternate periods as discussed further below. These do not form part of a row or wider conservation area. The historic setting of the site is heavily eroded in comparison to other heritage items and conservation areas in the vicinity, whilst the individual sites feature yards with no significant or contributory landscaping and do not make a substantial streetscape contribution. The subject site is also situated adjacent to highly contemporary built form to the rear, including utilitarian carparking and the Albury Central shopping centre which has diminished the historic visual context of the subject site in comparison to other listed sites.
- 481 Swift Street is not locally listed and therefore demolition of this building is acceptable from a heritage perspective. Further, in 2013 a Development Application for the demolition of 481 Swift Street, Albury was approved (10.2013.32482.1) however never acted upon.
- The subject dwelling at 485 Swift St (*Albury LEP 2010* I164) is an Inter -War California Bungalow identified by Council as having local significance. Urbis' further historical research, site investigation (including interiors), comparative analysis, and significance assessment has determined that the dwelling at 485 Swift Street does not reach the threshold of local significance level. Therefore the demolition of the structure would be acceptable from a heritage perspective. The key points of our assessment are outlined below:

³⁴ Albury City, March 2023. *Albury Local Housing Strategy*, 11.

- The existing statement of significance prepared by Council states that 485 Swift Street contributes to the key period of development and significance of the inner-city residential ring, which is the Victorian and early Federation period of subdivision and development. As an Inter-War building, 485 Swift Street is not associated with this key period of development and does not reach the threshold of significance under this criterion, as outlined in more detail at Section 5.3.2. The dwelling does not reach the threshold of local significance under any other criterion.
- 485 Swift Street was built by and resided in by the Abikhair family, owners of the nearby Abikhair Emporium. The Abikhair's Emporium building to the west on Swift St represents the contribution of the family to the development of Albury in a more tangible and significant manner, as the family are associated with economic activity. Further, the Abikhair Family have provided written confirmation that the dwelling is not of any associative or social significance to their family.
- Section 4.2 of this HIS includes a thorough comparative analysis of Inter-War Bungalows within Albury. This comparative analysis demonstrated that there are numerous examples of Inter-War Bungalows of equivalent significance and aesthetic contribution within Albury and its surrounding suburbs. As such, the dwelling is not rare in quantity or able to demonstrate qualities not seen in the other examples of Inter-War Bungalows. As above, the subject site at 485 Swift Street located within an eroded setting and under additional pressures to meet housing and infrastructure demands due to its location in the CBD. The other examples are in residential areas within the inner suburbs of Albury surrounded by other residential scale properties and located within a contributory context and setting. Many of these examples are situated in rows of Inter-War Bungalows which form a consistent streetscape character and demonstrate the outwards expansion of housing development in Albury within the Inter-War period. For these reasons, demolition of the structure is considered justifiable and acceptable from a heritage perspective for the provision of high density housing in the CBD area.
- In 2013 a Development Application was lodged for the demolition of 485 Swift Street, Albury, and was approved (10.2013.32482.1) however never acted upon.
- The subject dwelling at 487 Swift Street (*Albury LEP 2010* 1166) has previously reached the threshold of local significance however is so significantly deteriorated and in a state of disrepair that to be habitable would require extensive almost complete reconstruction. Further historical research, site investigation, comparative analysis and significance assessment by Urbis has determined that demolition is acceptable due to the strategic nature of the site and the poor condition of the dwelling. Therefore, demolition of the dwelling at 487 Swift Street is acceptable from a heritage perspective for the following reasons:
 - The dwelling is in very poor condition and has been condemned by a structural engineer (see Appendix A). The building is not safe for entry or use. Urbis' Heritage Architect has attended the site and also confirms that it is in a severe state of deterioration including partial collapse of the floor structure and would require extensive – almost holistic – reconstruction for any form of continued use. The dwelling is no longer structurally sound and would require extensive structural and reconstruction work. This would result in significant impact and loss of significant fabric due to replacement requirements and extensive loss of interior features. Whilst some external fabric may be suitable for salvage and reuse based on the condition, replacement would be extensive. The poor structural condition is also confirmed by a structural engineering report (see Appendix A). Due to the reduced integrity of the dwelling and the extensive reconstruction and structural intervention required, retention of this item would be financially substantial and potentially unreasonable. Given this item's contribution as per the statement of significance (discussed below) there are many other examples of this period of dwelling that provide this. Further, an archival recording and Heritage Interpretation Plan to be developed for this site can also demonstrate the understanding of the contribution to the history of Albury without requiring retention of this significantly deteriorated building.
 - Further, the existing statement of significance prepared by Council states that 487 Swift Street contributes to the *inner ring of housing around the retail core*. As above, this is the Victorian and early Federation period of subdivision and development. 487 Swift Street was constructed in this period of development, however, is in such poor condition that retention is difficult (as discussed above). The statement of significance relates to inner housing around the retail core. A robust heritage interpretation plan can provide this understanding within a new development. An archival recording is also recommended to allow historical recording contributing to the understanding of the development.
 - In 2013 a Development Application was lodged for the demolition of 487 Swift Street, Albury. This application was approved (DA 10.2013.32527.1) however never acted upon.

In addition to the above impact assessment regarding demolition of the listed heritage items, a detailed impact assessment at Section 6 contains the following key points regarding potential impact of the development on the non-listed subject building as well as vicinity heritage items and conservation areas:

- The proposed development would also include the construction of a seven-storey mixed use residential apartment building within the subject site. The proposed new building would be acceptable from a heritage perspective and would not result in any adverse impact to vicinity heritage items or to the vicinity Heritage Conservation Area for the following reasons:
 - The proposed residential apartment building would not result in physical or direct impacts to any vicinity heritage items or Heritage Conservation Areas.
 - The proposed residential apartment building is of a scale and height which would be sympathetic and acceptable within the Albury Central Business District and in the context of the vicinity heritage items as the proposed development and the vicinity heritage items are located within separate view corridors and are spatially separated. As Swift Street is a wide tree-lined street there is adequate visual separation between the subject site and the vicinity items. The historic development of the Albury town has varied building typologies and heights and therefore the proposed height has other precedents in the CBD. Furthermore, the area is marked for growth and the proposed height is in accordance with the established height controls of 35m for E2 Commercial Centre zoning within the CBD. As such, further development and future setting is expected to be of an equivalent height scale. While larger than other current existing development in the vicinity, the proposed height and scale of the residential apartments would not visually dominate the streetscape of Swift Street and would not detract from the historic character of the area and the vicinity heritage items given its view lines.
 - The proposed building is of an appropriate bulk and massing, which is reduced through the overall building design, incorporating a ground floor podium level, with four distinctive bays on the front façade which are set back from the podium. The design utilises curved corner forms and a sympathetic balance of solid and void which furthermore reduces the visual bulk of the form and the façade design. Sympathetic landscaping, including vertical garden and overhanging terrace plantings further softens the appearance of the building and ensures it is sympathetic within the streetscape.
 - The northern side of Swift Street typically features single to double-storey height development, behind which (i.e. to the north) is further low-scale residential setting. This low-scale development forms the height character of northern of Albury. However, the subject site is located on the south side of Swift Street, which features typically double-storey development including the Albury Central shopping centre and the Abikhair Emporium building to the west of the subject site. When viewed looking south from the northern side of Swift Street, the taller buildings on Dean Street (also of two-three storeys) are visible behind the subject site and therefore the proposed development would always be viewed in the visual context of increased bulk and height. This ensures that the height of the proposed development is not of an unsympathetic scale within the visual context of the subject site.
 - The proposed residential apartment would not obstruct any significant views along Swift Street, including views to, from and between heritage items and the nearby Heritage Conservation Area. Further, the proposed apartment building would not visually dominate the streetscape on account of its appropriate bulk, height and scale (as above), and furthermore is of an appropriate sympathetic materials, colours and finishes palette which would ensure it is recessive within its setting. This includes the use of light coloured, earthy brickwork which is in a neutral tone and matte finish. The materials palette would also include powdercoated metals in neutral tones, timber, and glazing.

APPENDIX A

STRUCTURAL ENGINEERS REPORT



Suite 2, Level 1/90-100 Ovens Street
Wangaratta, VIC, 3677
Ph: 0357 218 673 Fax: 0357 218 108
Email: info@connexgroup.com.au
Web: www.connexgroup.com.au
ABN 41 607 187 306

Project No. E22173

Date – 31.07.2022

Project: Structural Conditions Report 487 Swift Street Albury NSW.

Brett McClellan
Senior Project Manager
Joss Construction
Ph: 0409 981 835

Dear Brett,

1.0 Introduction:

This office has been engaged to undertake a site inspection at the above address on 21st of July 2022, to assess the structural integrity of the existing unoccupied dwelling. The inspection was conducted in the presence of Brett McClellan and Adam Joss from Joss Construction.

It has been advised that a heritage overlay exists to this particular building.

The weather on the day of the inspection was fine and there was sufficient light to conduct the inspection.

2.0 Existing Building Description and Assessment:

The existing dwelling is a timber framed, weatherboard clad building on a timber floor. A timber framed skillion extension is present to the rear Southern end of the building. Two internal brick chimneys exist. The Eastern side and the Southern end of the dwelling directly adjoins a driveway access and carpark area to the neighbouring properties.

The timber floor is at ground level and there is no ventilation under the floor space. Timber floor framing would be in contact with the ground. There is extension movement and collapse of the floor throughout the building as a result of both termite infestation and timber decay. The lack of support in the floor structure has directly resulted in extensive movement to wall framing, doors, and windows throughout the building.

The South-West corner of skillion extension has completely collapsed due to termite infestation and timber decay.

Although the actual roof framing was not inspected, the extremely poor condition of the floor and wall structure, would directly impact on the integrity of the roof framing. The lateral stability of the brick Chimneys would therefore likely also be directly compromised.



3.0 Structural Assessment:

In its current state, the existing building is considered to be unsafe and dangerous and poses a safety issue to the public, particularly the driveway access to the neighbouring Eastern property and the rear Southern carpark.

It is clear that the structural condition of this building is beyond repair.

It is the opinion of this office, that the existing building be fully demolished, and the site made safe to the public.

Please call if you require any additional information.

Regards,



Karl Hutchinson

B.Eng. Civil, CPEng, NER, FIEAust

Registered Professional Engineer No. PE0002557





Photo 1: View from North-East. Eastern wall is directly on the boundary. Stability of masonry chimney close to Eastern neighbouring property constitutes a major safety issue.



Photo 2: View from North-West.



Photo 3: Western view. Rear Southern skillion has collapsed.



Photo 4: View from South-West. Rear Southern skillion has collapsed. Stability of masonry chimney close to Southern neighbouring property constitutes a major safety issue.



Photo 5: Rear Southern skillion has collapsed. Extensive termite damage visible.



Photo 6: Rear Southern skillion has collapsed. Extensive termite damage visible.



Photo 7: Floor framing is directly against the ground. Extensive floor movement and collapse exists.



Photo 8: Extensive movement to floors, wall framing, doors, and windows throughout.



Photo 9: Extensive termite damage throughout.

8. DISCLAIMER

This report is dated 12 May 2023 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Pty Ltd (**Urbis**) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, of JOSS CONSTRUCTION (**Instructing Party**) for the purpose of a Development Application (**Purpose**) and not for any other purpose or use. To the extent permitted by applicable law, Urbis expressly disclaims all liability, whether direct or indirect, to the Instructing Party which relies or purports to rely on this report for any purpose other than the Purpose, and to any other person which relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events, the likelihood and effects of which are not capable of precise assessment.

All surveys, forecasts, projections and recommendations contained in or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report, and upon which Urbis relied. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.

In preparing this report, Urbis may rely on or refer to documents in a language other than English, which Urbis may arrange to be translated. Urbis is not responsible for the accuracy or completeness of such translations and disclaims any liability for any statement or opinion made in this report being inaccurate or incomplete arising from such translations.

Whilst Urbis has made all reasonable inquiries it believes necessary in preparing this report, it is not responsible for determining the completeness or accuracy of information provided to it. Urbis (including its officers and personnel) is not liable for any errors or omissions, including in information provided by the Instructing Party or another person or upon which Urbis relies, provided that such errors or omissions are not made by Urbis recklessly or in bad faith.

This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith and in the reasonable belief that they are correct and not misleading, subject to the limitations above.

